

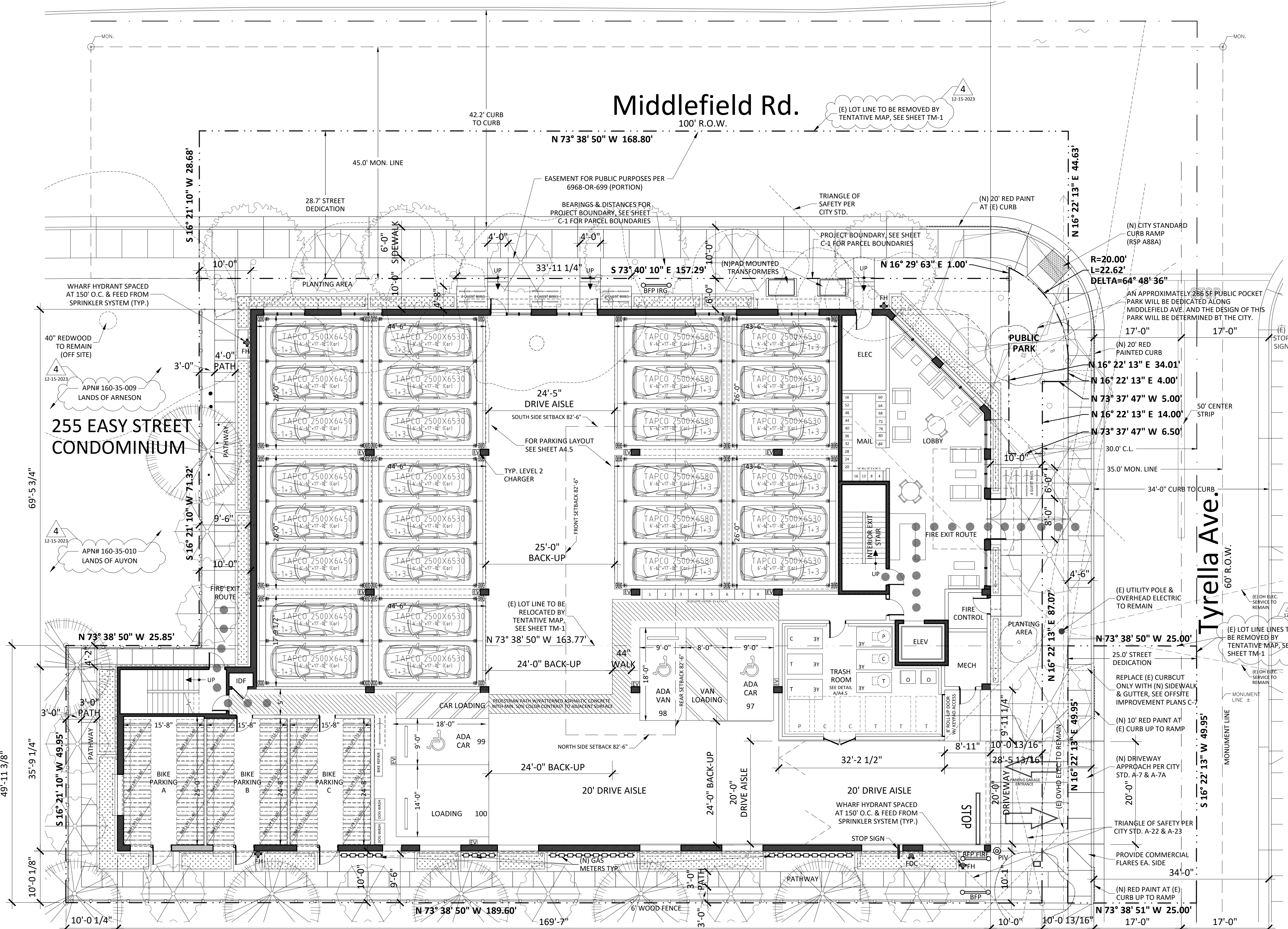
SITE PLAN NOTES

- FOR (E) EASEMENTS, (E) LOT DIMENSIONS, AND (E) LOT SIZES, SEE SHEET C-1
- BUILDING INTENDED USE IS PRIMARILY RESIDENTIAL. SEE SHEET A.01 FOR OCCUPANCY USES BY FLOOR.
- SEE SHEET A.02 FOR NEIGHBORHOOD CONTEXT
- A ONE BUILDING OF APPROXIMATELY 108,314 SF
- THE SUBDIVISION APPROACH BEING USED FOR THIS PROJECT IS A TENTATIVE MAP. FOR PROPOSED (N) EASEMENTS, (N) LOT DIMENSIONS, AND (N) LOT SIZES, SEE SHEET TM-1 TENTATIVE MAP.
- SEE OFFSITE IMPROVEMENT PLAN ON SHEET C-7 FOR PROPOSED ENCUMBRANCES ACROSS THE PROPERTY LINE. SEE TENTATIVE MAP SHEET TM-1 FOR PROPOSED EASEMENTS.
- "NO PARKING ANYTIME" SIGNAGE WILL BE PROVIDED ALONG ENTIRE FRONTAGE OF BOTH MIDDLEFIELD ROAD AND TYRELLA AVENUE.
- THE PROPOSED METHOD OF SEWERAGE WILL BE A SEWER LATERAL CONNECTING TO THE CITY OF MOUNTAIN VIEW'S SANITARY SEWER MAIN UNDERNEATH TYRELLA AVENUE.

LEGEND

- PROJECT BOUNDARY
- LOT LINE
- VERTICAL CURB & GUTTER
- VERTICAL CURB
- PERIMETER FENCE
- RAIN GARDEN BIO-RETENTION BASIN
- FH WHARF HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- PIV POST INDICATOR VALVE
- (E) TREE TO REMAIN

294 & 296 TYRELLA AVE
OAK CREEK TERRACE
APNH 160-32-001 & 160-32-002



290 TYRELLA TRIPLEX

SITE PLAN

NOTE: SEE SHEET A1.1 FOR OTHER SITE PLAN INFORMATION NOT SHOWN HERE



Berry and Associates
Civil Engineer



SITE PLAN

REV 4: 12-15-2023
REV 2: 04-10-2023
REV 1: 02-01-2023
REV 3: 09-25-2023
785 CASTRO STREET
MOUNTAIN VIEW, CA 94041
C-3



294 & 296 TYRELLA AVE
OAK CREEK TERRACE



Berry and Associates
Civil Engineer



PERSPECTIVES

REV 3: 09-25-2023 REV 2: 04-10-2023
785 CASTRO STREET REV 1: 02-01-2023
MOUNTAIN VIEW, CA 94041

A1.4