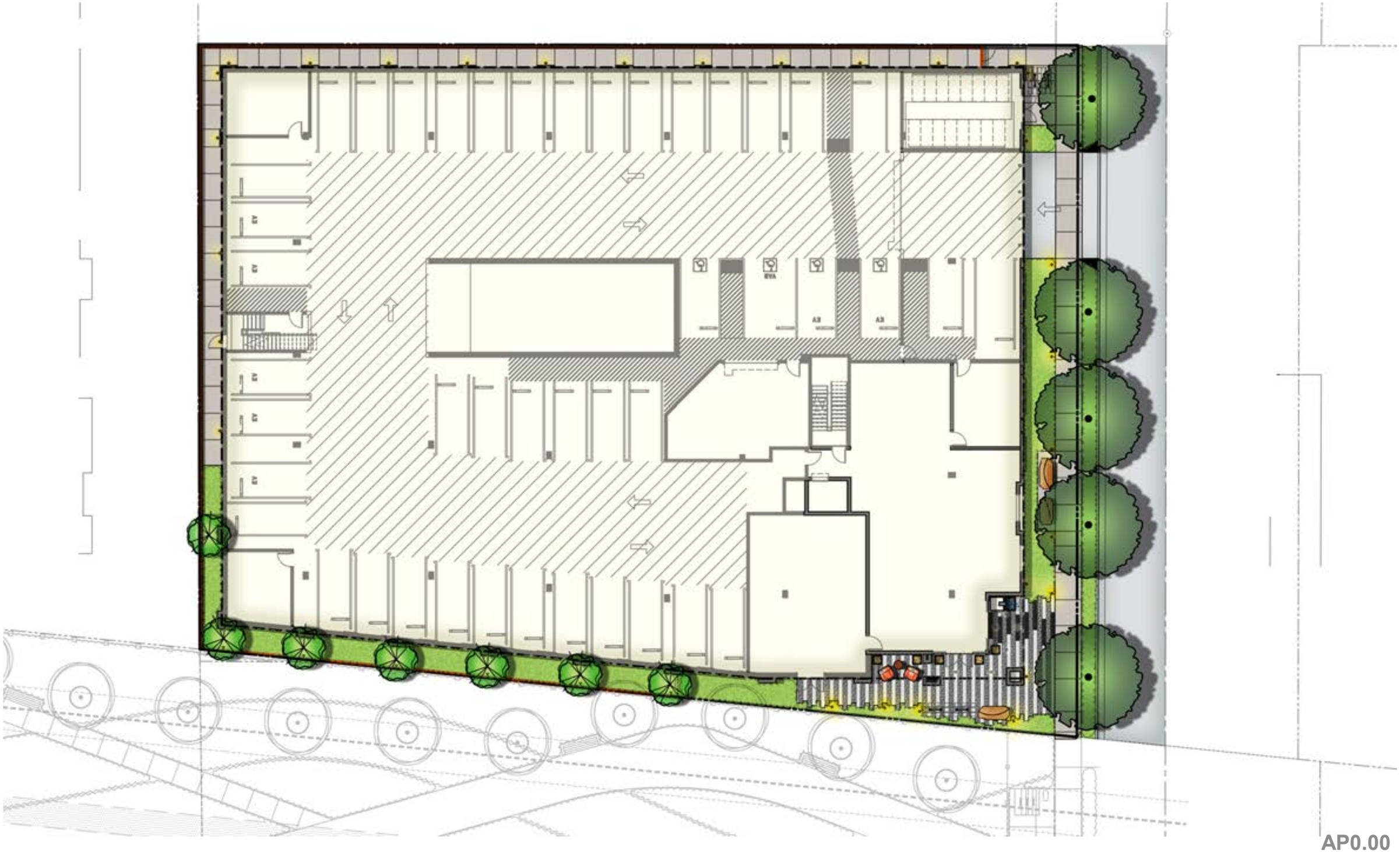
OCTANE FAYETTE

2645 & 2655 FAYETTE DRIVE, MOUNTAIN VIEW, CA

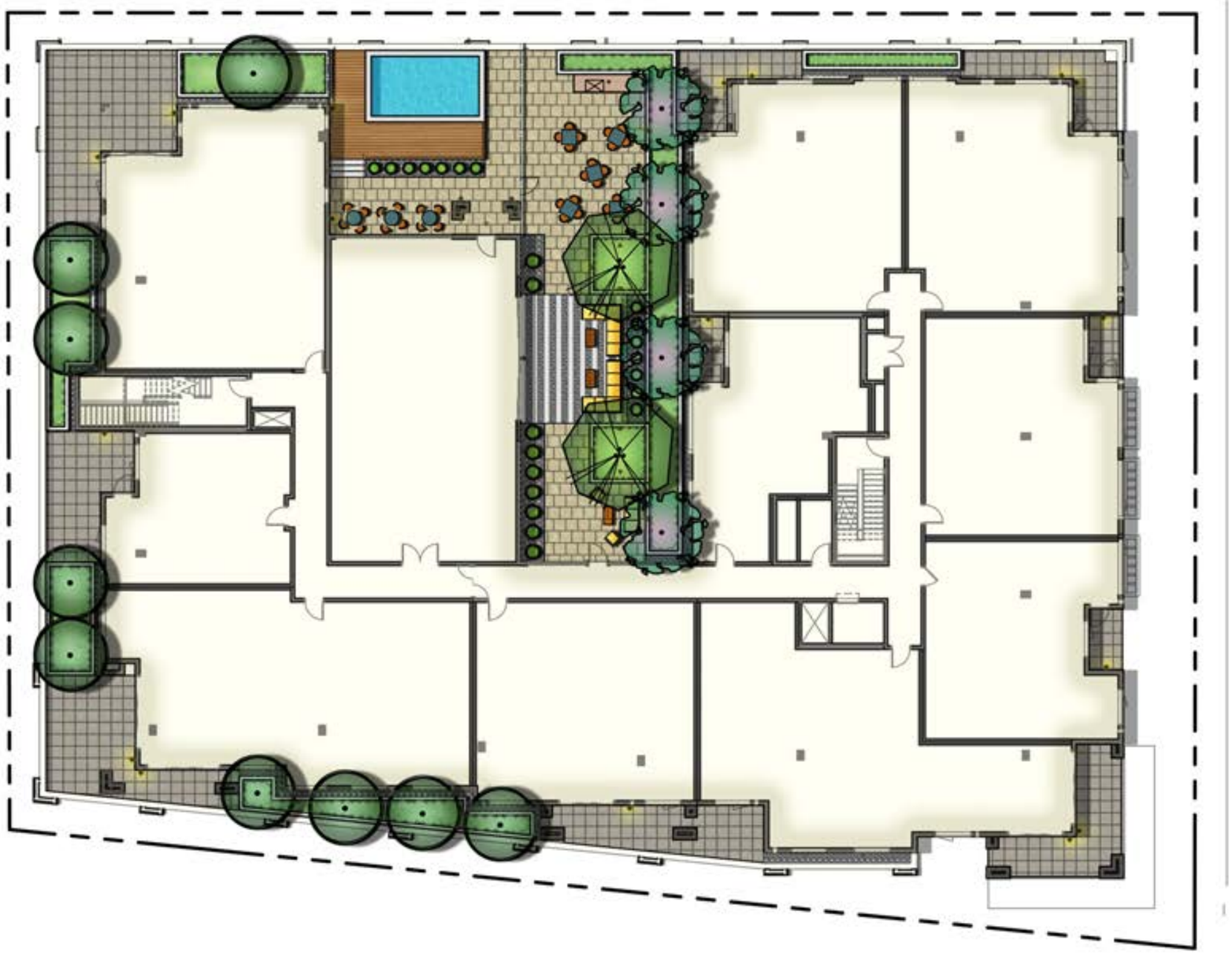


AP0.00

OCTANE FAYETTE

SCHEMATIC SITE PLAN

OCTOBER 6, 2023



PROJECT DESCRIPTION

A PRIVATELY FUNDED RESIDENTIAL BUILDING WITH A SUBTERRANEAN PARKING GARAGE. THE PROJECT IS ONE BUILDING CONSISTING OF THE ELEMENTS DESCRIBED BELOW.
• A 7-STORY RESIDENTIAL BUILDING OF 5-STORIES OF TYPE III-A WOOD FRAMED RESIDENTIAL AND RELATED AMENITY SPACES OVER 2 LEVELS OF TYPE I-A CONCRETE/METAL FRAMED GARAGE WITH AMENITY SPACES AND RESIDENTIAL UNITS.
• 1 LEVEL OF TYPE I-A CONCRETE, SUBTERRANEAN PARKING GARAGE.
• 70 RESIDENTIAL DWELLING UNITS, SEE STATISTICS FOR MORE INFORMATION.
• TOTAL PARKING CONSISTS OF A TOTAL 103 SPACES SERVING THE RESIDENTS, SEE STATISTICS FOR MORE INFORMATION.

PROJECT SUMMARY

- LOBBY & RESIDENTIAL AMENITY
- HABITABLE OPEN SPACE
- GARAGE
- BUILDING UTILITIES
- AFFORDABLE RATE RESIDENTIAL NET
- MARKET RATE RESIDENTIAL NET
- RESIDENTIAL GROSS
- VERTICAL CIRCULATION/ CORES

LEGEND

OWNER:
OCTANE FAYETTE LLC
800 W. EL CAMINO REAL, SUITE 180
MOUNTAIN VIEW, CA 94040
P: 703.629.1901
CONTACT: EMERIC J. MCDONALD

ARCHITECT:
BDE ARCHITECTURE
950 HOWARD STREET
SAN FRANCISCO, CA 94103
P: 415.677.0966
CONTACT: JON ENNIS

CIVIL:
KIER + WRIGHT
9015 MURRAY AVE, SUITE 1532
GILROY, CA 95020
P: 408.727.6665
CONTACT: MARK KNUDSEN

LANDSCAPE ARCHITECT:
THE GUZZARDO PARTNERSHIP
181 GREENWICH STREET
SAN FRANCISCO, CA 94111
P: 415.433.4672 x 14
CONTACT: PAUL LETTIERI

JOINT TRENCH:
MILLENIUM DESIGN & CONSULTING, INC.
PO BOX 737
ALAMO, CA 94507
P: 925.783.4300
CONTACT: ALFRED GIUSTI

TRASH CONSULTANT:
AMERICAN TRASH MANAGEMENT
1900 POWELL ST., SUITE #220
EMERYVILLE, CA 94608
P: 415.377.0644
CONTACT: SCOTT BROWN

PROJECT TEAM

AERIAL VIEW

PROJECT INFORMATION

AP0.00 SCHEMATIC SITE PLAN
AP0.01 SCHEMATIC PODIUM PLAN
AP0.02 PERSPECTIVE VIEW
AP0.03 PERSPECTIVE VIEW
AP0.04 PERSPECTIVE VIEW
AP0.05 PROJECT INFORMATION
AP0.06 SHEET INDEX
AP0.07 VICINITY MAP
AP0.08 FEMA MAP
AP0.09 PROJECT STATISTICS
AP0.10 UNIT & AREA MATRIX
AP0.11 BMR STATISTICS
AP0.12 NEIGHBORHOOD/AERIAL CONTEXT
AP0.13 STREETSCAPE ELEV. @ FAYETTE DR
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AP0.18 GREENPOINT RATING CHECKLIST
AP0.19 GREENPOINT RATING CHECKLIST
AP0.20 GREENPOINT RATING CHECKLIST
AP0.21 GREENPOINT RATING CHECKLIST
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AP0.23 SHADOW STUDY

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AP2.05 BUILDING PLAN - FLOOR 5
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AP2.08 BUILDING PLAN - ROOF
AP3.00 ELEVATION - NORTH
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AP3.03 ELEVATION - WEST
AP3.04 ELEVATION - COURTYARD
AP3.05 ELEVATION - DIAGRAMS
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AP4.00 UNIT PLANS - STUDIO
AP4.01 UNIT PLANS - 1 BEDROOM
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L-1.2 SCHEMATIC PODIUM PLAN
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L-2.1 SCHEMATIC PLANTING PLAN - SITE
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L-3.00 IRRIGATION NOTES AND LEGEND
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L-6.1 LANDSCAPE IMAGERY
L-7.0 COLOR AND FINISH SCHEDULE
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C1.0 TOPOGRAPHIC SURVEY
C2.0 CONCEPTUAL GRADING & UTILITY - FLOOR 1
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JOINT TRENCH

JTC1 JOINT TRENCH CONCEPTUAL COMPOSITE

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E.4 EGRESS ANALYSIS - BASEMENT
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TRASH

TR0.0 TRASH ROUTE/STAGING PLAN
TR0.1 TRASH DISCHARGE ROOM PLAN
TR2.0 CHUTE DETAILS

TRUE NORTH

AP0.07

OCTANE FAYETTE

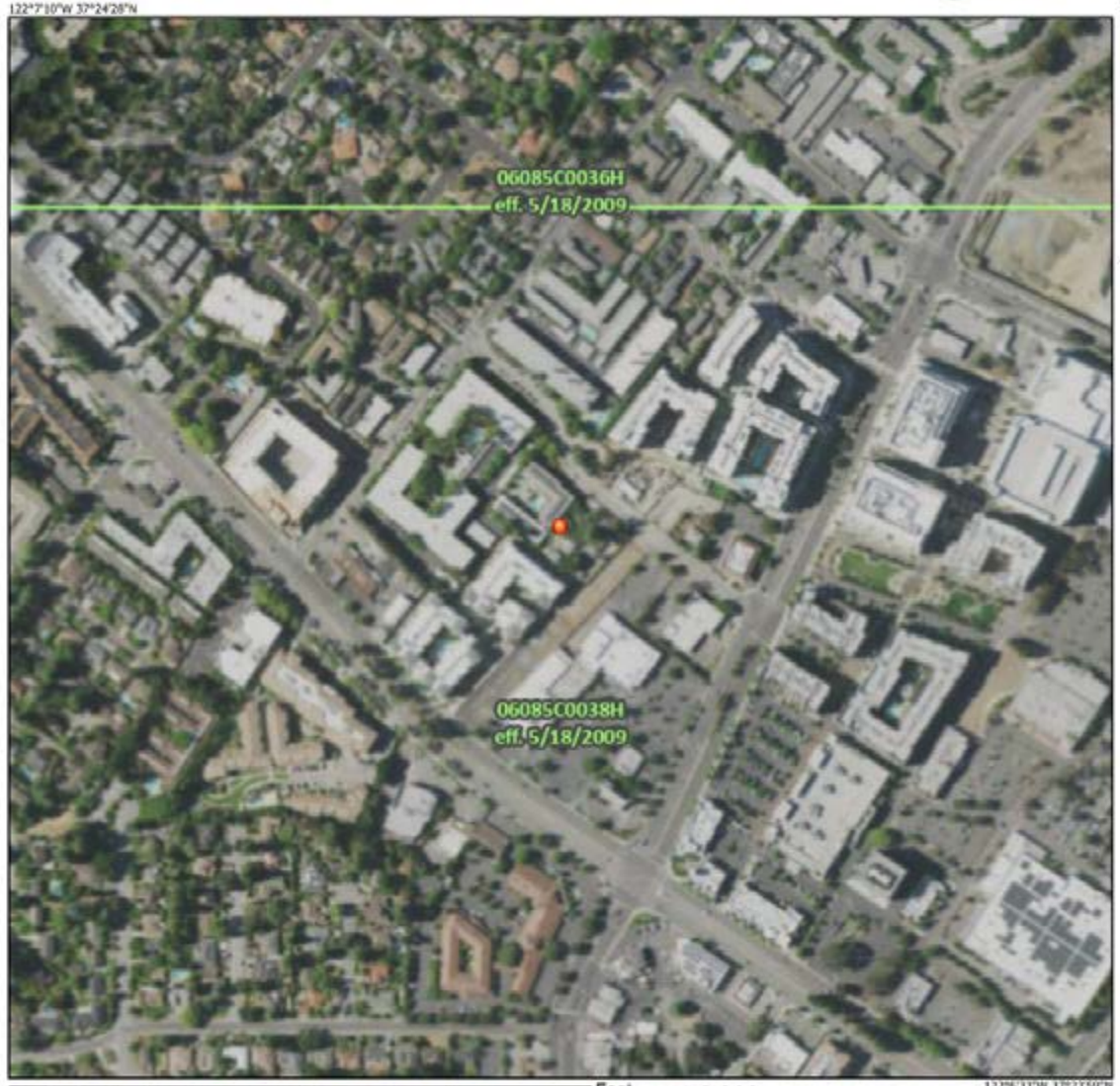
VICINITY MAP

OCTOBER 6, 2023

National Flood Hazard Layer FIRMette

FEMA

122°7'10"W 37°24'28"N



Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS
- Without Base Flood Elevation (BFE) *Zone A, V, A99*
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS
- NO SCREEN Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone D*

GENERAL STRUCTURES
- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES
- 20.2 Cross Sections with 1% Annual Chance
- 17.5 Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS
- Digital Data Available
- No Digital Data Available
- Unmapped

N

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/27/2023 at 3:19 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

GENERAL PROJECT DATA

SITE ADDRESS:	2645 & 2655 FAYETTE DRIVE. MOUNTAIN VIEW, CA 94041
APN(S):	148-016-008 148-016-009
ZONING DISTRICT:	P-40 (SAN ANTONIO PRECISE PLAN)
GENERAL PLAN LAND USE DESIGNATION:	HIGH DENSITY RESIDENTIAL
SPECIAL FLOOD HAZARD ZONE:	NONE
OCCUPANCY GROUP(S):	R-2 RESIDENTIAL S-2 GARAGE A ASSEMBLY
CONSTRUCTION TYPE:	TYPE IA AT FLOORS B1-2 TYPE IIIA AT FLOORS 3-7
EXISTING USE:	RESIDENTIAL (SINGLE FAMILY): 5,711 SF INDUSTRIAL: 5,156 SF TOTAL: 10,867 SF
PROPOSED USE:	RESIDENTIAL
NUMBER OF STORIES:	7
ACERAGE:	.66687 AC
SQUARE FOOTAGE:	29,049 SF
# OF UNITS:	70
DU PER ACRE:	104.97
ALL HERITAGE TREES ON SITE INCLUDING SPECIES/SIZE:	9 TREE, REFER TO ARBORIST REPORT

ZONING PROJECT DATA

	P-40 ZONING	PROPOSED
LOT COVERAGE:		
• LOT AREA:	29,049 SF	29,049 SF
• BUILDING COVERAGE:	60% MAX 17,429.4 SF	82% PROPOSED 23,957 SF
OPEN AREA (CALCULATIONS ON SHEET AP0.16):		
• PRIVATE USABLE OPEN SPACE:	---	8,052 SF
• SEMI-PRIVATE (COURTYARD AREA):	---	4,434 SF
• PUBLIC OPEN SPACE:	---	2,386 SF
• TOTAL:	11,620 SF	14,872 SF
• ALLOWABLE MIN. OPEN AREA:	40% MIN.	51%
COMMON USABLE OPEN SPACE:		
• SEMI-PRIVATE (COURTYARD AREA):	---	4,434 SF
• PUBLIC OPEN SPACE:	---	2,386 SF
• ALLOWABLE MIN. COMMON OPEN SPACE:	175 SF/UNIT	
• TOTAL:	12,250 SF	6,720 SF
PAVEMENT COVERAGE:		
• SURFACE PAVEMENT COVERAGE PER OVERALL SITE:	40% MAX. 11,620 SF	9% 2,517 SF

ZONING PROJECT DATA (CONT'D.)

	P-40 ZONING	PROPOSED
SETBACKS:		
• FRONT (FAYETTE DR):	18'-0" MIN.	18'-2"
• NORTH SIDE (FAYETTE TOWNHOUSES):	15'-0" MIN.	5'-0"
• SOUTH SIDE (HETCH HETCHY):	15'-0" MIN.	5'-0"
• BACK (DOMUS):	15'-0" MIN.	5'-0"
BUILDING HEIGHT:	55'-0" (P-40)	84'-4 1/2"
GROSS FLOOR AREAS:		
• BASEMENT (B1):	---	24,255 SF
• FLOOR 1:	---	23,957 SF
• FLOOR 2:	---	17,008 SF
• FLOOR 3:	---	17,008 SF
• FLOOR 4:	---	17,008 SF
• FLOOR 5:	---	17,008 SF
• FLOOR 6:	---	17,008 SF
• FLOOR 7:	---	17,008 SF
FLOOR AREA RATIO:		
• FLOOR AREA (BASEMENT NOT INCLUDED):	---	126,005 SF
• F.A.R.:	1.85	4.34
BELOW-MARKET RATE UNITS:		
• 10% MIN. OF TOTAL UNITS:	7	14 (20%)

CAR PARKING
*ALL PARKING WITHIN PROJECT IS ASSIGNED EXCEPT FOR THE TO DELIVERY SPACES NOTED BELOW:

• STUDIO (1 PER UNIT):	5	0
• 1 BEDROOM (1 PER UNIT):	12	3
• 2 BEDROOM (2 PER UNIT):	70	62
• 3 BEDROOM (2 PER UNIT):	36	36
• GUEST (15% OF TOTAL):	19	0
• DELIVERY TRUCK	0	2
• TOTAL	142	103
EV PARKING:		
• EV READY (LEVEL 2) (15%):	16	16
• EV CAPABLE (LEVEL 1) (85%):	87	87
EV ACCESSIBLE PARKING (INCLUSIVE):		
• EV READY ACCESSIBLE (LEVEL 2) (2%):	2	2
ACCESSIBLE PARKING (INCLUSIVE):		
• NON-EV ACCESSIBLE (2%):	2	2
BICYCLE STORAGE:		
• RESIDENT (1 PER UNIT):	70	72
• GUEST (1 PER 10 UNITS):	7	8
RESIDENTIAL STORAGE:		
• RESIDENT (1 PER UNIT @ 164 CU-FT):	70 (164 CU-FT)	70 (76 CU-FT)

UNIT AND AREA SUMMARY — **JOB: Octane - Fayette, Mountain View**

CONSTRUCTION TYPE: TYPE IIIA OVER TYPE IA — **Builder's Remedy Law Bldg**

FLOORS: 5 WOOD O/2 CONCRETE W/ BASEMENT

UNIT TYPE	NAME	DESCRIPTION	Unit Net Rentable	B1	1ST	2ND	3RD	4TH	5TH	6TH	7TH	ROOF	Unit Total		Rentable Area by Type
STUDIO	S1	STUDIO	498				1	1	1	1	1		5	7%	2,490
STUDIO SUB-TOTAL					0	0	1	1	1	1	1	0	**5**	**7%**	2,490
1 BEDROOM	A1-MTL	1 BDRM	873			1							1	1%	873
	A1.1-MTL	1 BDRM	715			1							1	1%	715
	A1	1 BDRM	865				1	1	1	1	1		5	7%	4,325
	A1.1	1 BDRM	719				1	1	1	1	1		5	7%	3,595
1 BDRM SUB-TOTAL					0	2	2	2	2	2	2	0	**12**	**17%**	9,508
2 BEDROOM	B1-MTL	2 BDRM/2 BATH	995			1							1	1%	995
	B2-MTL	2 BDRM/2 BATH	1255			2							2	3%	2,510
	B3-MTL	2 BDRM/2 BATH	1206			1							1	1%	1,206
	B4-MTL	2 BDRM/2 BATH	1105			1							1	1%	1,105
	B1	2 BDRM/2 BATH	1001				1	1	1	1	1		5	7%	5,005
	B2	2 BDRM/2 BATH	1277				2	2	2	2	2		10	14%	12,770
	B3	2 BDRM/2 BATH	1209				1	1	1	1	1		5	7%	6,045
	B4	2 BDRM/2 BATH	1114				1	1	1	1	1		5	7%	5,570
	B4.1	2 BDRM/2 BATH	1139				1	1	1	1	1		5	7%	5,695
2 BDRM SUB-TOTAL					0	5	6	6	6	6	6	0	**35**	**50%**	40,901
3 BEDROOM	C1-MTL	3 BDRM/ 2 BATH	1,499			1							1	1%	1,499
	C2-MTL	3 BDRM/ 3 BATH	1733			1							1	1%	1,733
	C3-MTL	3 BDRM/ 3 BATH	1622			1							1	1%	1,622
	C2	3 BDRM/ 2 BATH	1513				1	1	1	1	1		5	7%	7,565
	C2	3 BDRM/ 3 BATH	1733				1	1	1	1	1		5	7%	8,665
	C3	3 BDRM/ 3 BATH	1627				1	1	1	1	1		5	7%	8,135
3 BDRM SUB-TOTAL					0	3	3	3	3	3	3	0	**18**	26%	29,219
TOTAL UNITS		**Avg SqFt**	**1,173**		0	10	12	12	12	12	12	0	**70**	**100%**	82,118
Net rentable residential area is measured from interior face of finish of demising walls to interior face of finish of corridor and exterior walls.															
Net rentable Residential by floor (excl decks)					0	12,258	13,972	13,972	13,972	13,972	13,972	0			**82,118**
Gross area by floor (footprint minus net rentable, excl decks)				2,759	4,865	3,080	3,036	3,036	3,036	3,036	3,036	0			**25,884**
Residential Amenities						1,670									1,670
Lobby Area					1,999										1,999
Mail & Package Room					285										285
Bike Storage Room					452										452
Parking Garage				21,496	16,356										37,852
Total Gross				24,255	23,957	17,008	17,008	17,008	17,008	17,008	17,008	0			**150,260**

PARKING PROVIDED	
RESIDENTIAL	# STALLS
B1	59
FLOOR 1	44
TOTAL	**103**
RATIO	**1.47**

FLOOR	STANDARD	EV STANDARD	STANDARD ACCESS	EV ACCESS	VAN STANDARD...	VAN EV ACCESS	DELIVERY	TOTAL
B1	51	8	0	0	0	0	0	59
FLOOR 1	32	6	1	1	1	1	2	44
TOTAL	83	14	1	1	1	1	2	103

BMR UNIT SUMMARY — **JOB: Octane - Fayette, Mountain View**

Date 8/11/23

CONSTRUCTION TYPE: TYPE IIIA OVER TYPE IA — **Builder's Remedy Law Bldg**

FLOORS: 5 WOOD O/2 CONCRETE W/ BASEMENT — **BMR UNITS**

UNIT TYPE	NAME	DESCRIPTION	Unit Net Rentable	B1	1ST	2ND	3RD	4TH	5TH	6TH	7TH	ROOF	Unit Total		Rentable Area by Type
STUDIO	S1	STUDIO	498				1	1	1	1	1		5	36%	2,490
STUDIO SUB-TOTAL				0	0	1	1	1	1	1	0		**5**	**36%**	2,490
1 BEDROOM	A1-MTL	1 BDRM	873			1							1	7%	873
	A1.1 MTL	1 BDRM	715			1							1	7%	715
	A1	1 BDRM	865				1	1	1				3	21%	2,595
	A1.1	1 BDRM	719				1	1	1	1			4	29%	2,876
1 BDRM SUB-TOTAL				0	2	2	2	2	1	0	0		**9**	**64%**	7,059
TOTAL UNITS		**Avg SqFt**	**682**	0	2	3	3	3	2	1	0		**14**	**100%**	9,549
Net rentable residential area is measured from interior face of finish of demising walls to interior face of finish of corridor and exterior walls.															
Net rentable Residential by floor (excl decks)				0	1,588	2,082	2,082	2,082	1,217	498	0				**9,549**

A) EXISTING SITE FROM FAYETTE DR. LOOKING NORTH

B) EXISTING SITE FROM FAYETTE DR. LOOKING SOUNTH

C) EXISTING SITE FROM FAYETTE DR.

D) EXISTING SITE FROM HETCH HETCHY

E) EXISTING SITE LOOKING SOUTH

F) EXISTING SITE LOOKING EAST

FAYETTE TOWN HOUSE AT FAYETTE DR.

CARMEL APARTMENTS AT SAN ANTONIO RD.

THE DEAN AT SAN ANTONIO RD.

DOMUS ON THE BOULEVARD

KEY MAP

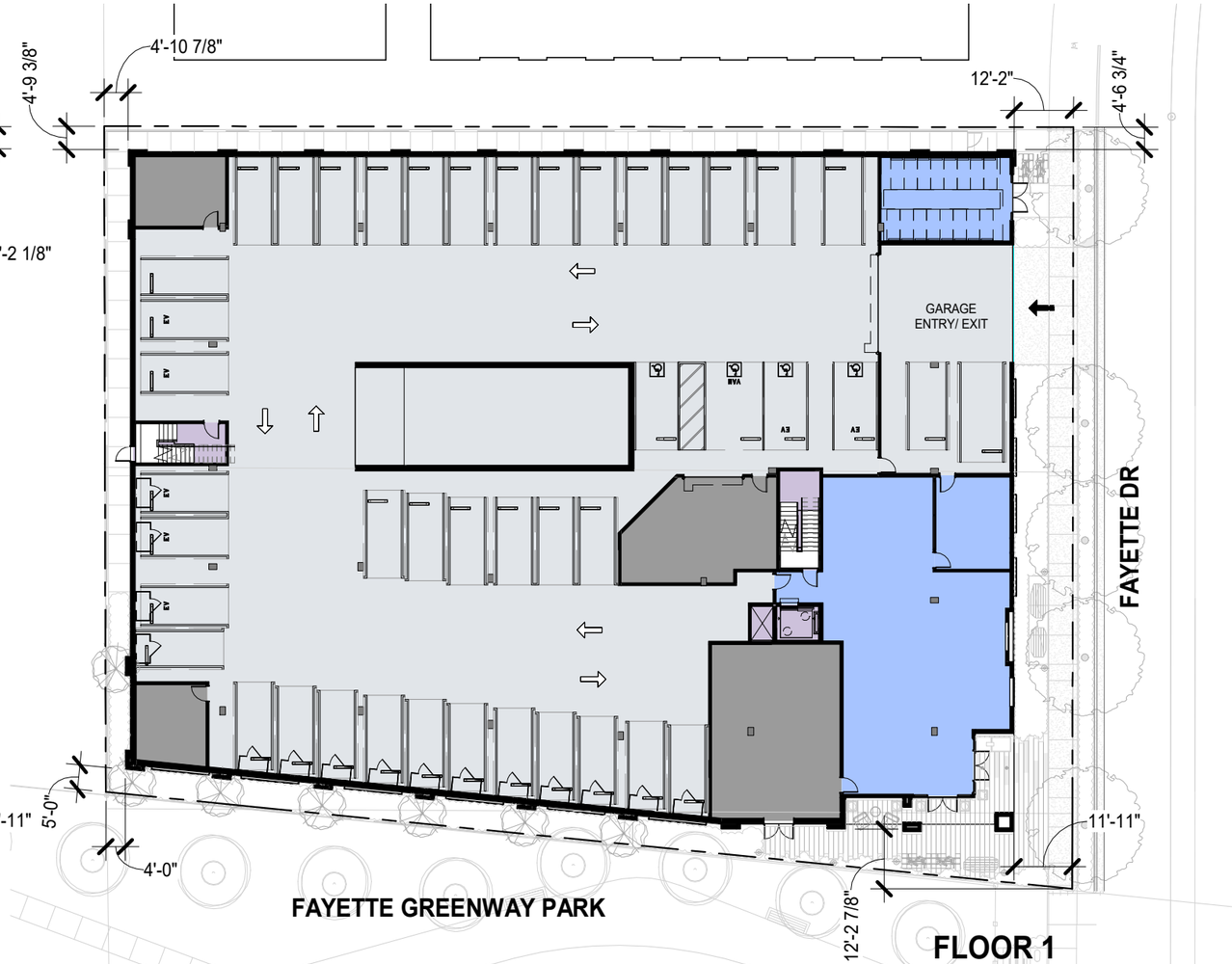
AP0.13

OCTANE FAYETTE

STREETSCAPE ELEV. @ FAYETTE DR

OCTOBER 6, 2023

FLOOR 2



FLOOR 1

0' 30' 60'

1"=30'

TRUE NORTH

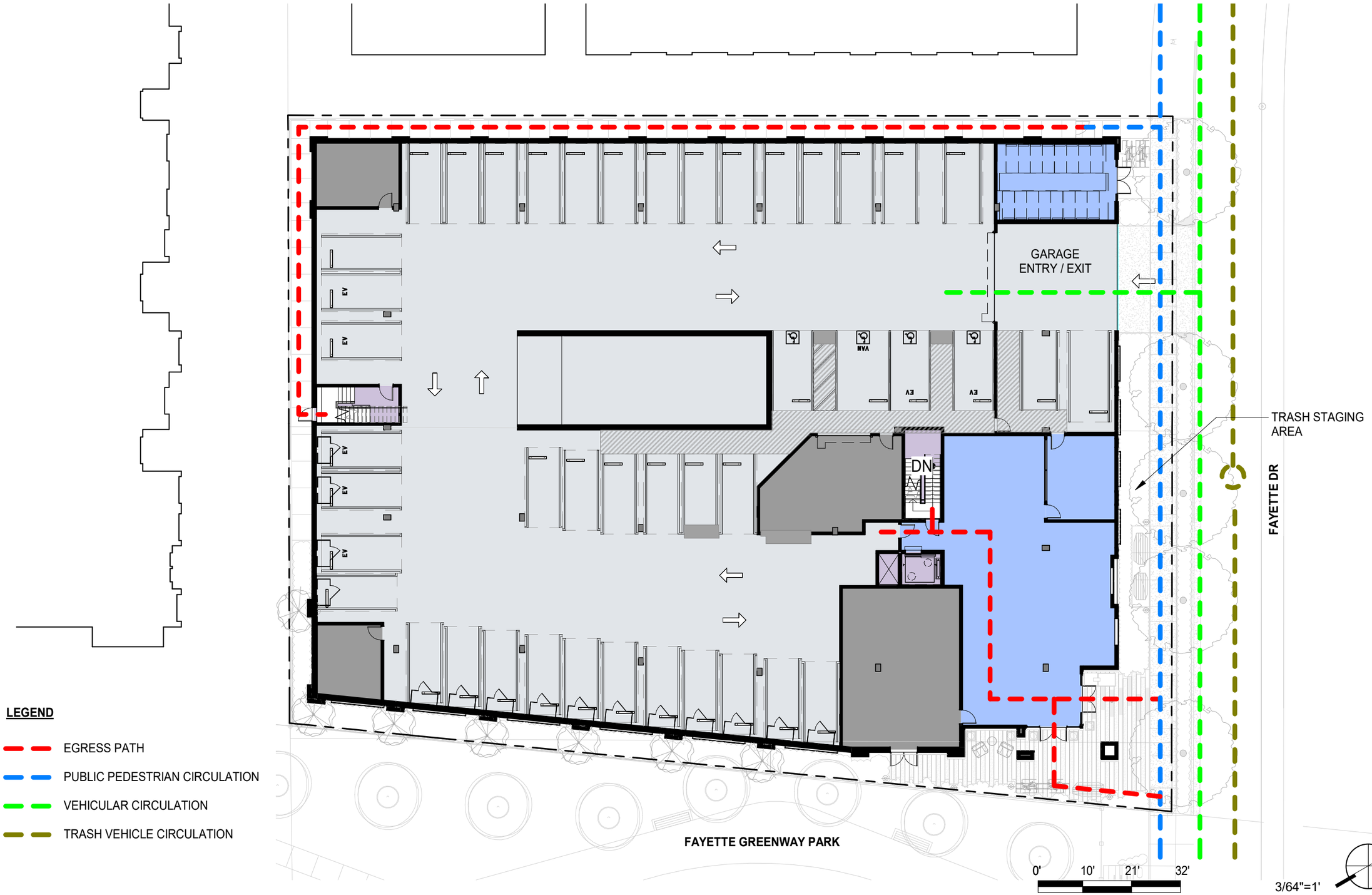
PROJECT NORTH

AP0.14

OCTANE FAYETTE

SETBACK DIAGRAM

OCTOBER 6, 2023



LEGEND

- EGRESS PATH
- PUBLIC PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- TRASH VEHICLE CIRCULATION

3/64"=1'

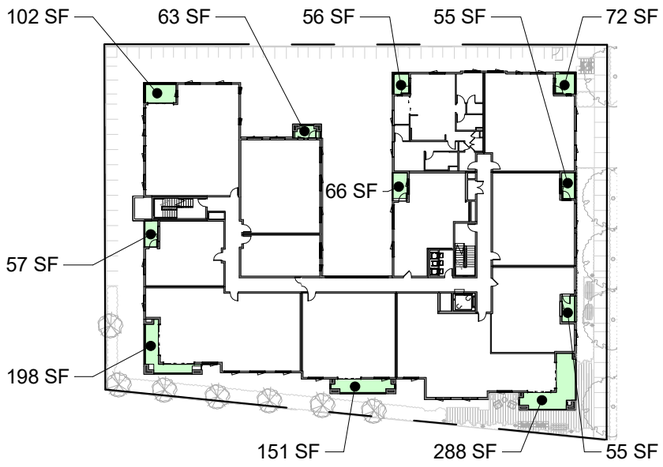
AP0.15

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

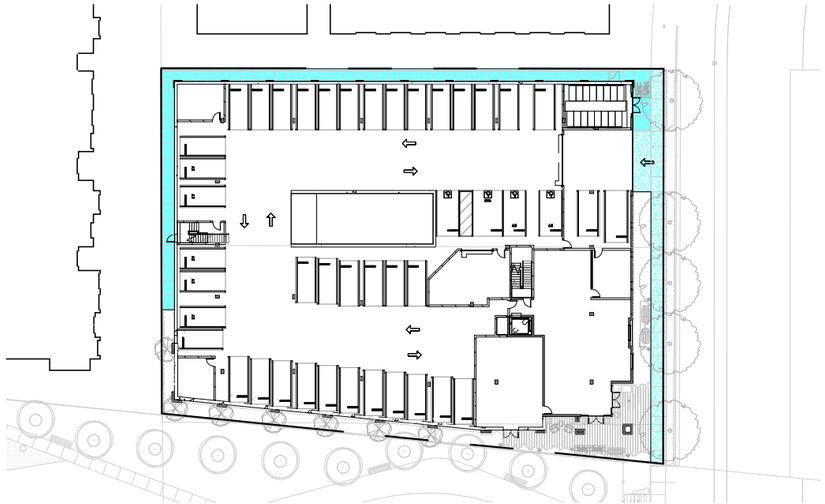
OCTANE FAYETTE

SITE CIRCULATION

OCTOBER 6, 2023



FLOORS 3 - 7



FLOOR 1 (PAVEMENT AREA)

FLOOR 2

FLOOR 1 (PUBLIC AREA)

PRIVATE USABLE OPEN SPACE	
FLOOR 2	2,237 SF
FLOOR 3	1,163 SF
FLOOR 4	1,163 SF
FLOOR 5	1,163 SF
FLOOR 6	1,163 SF
FLOOR 7	1,163 SF
TOTAL	8,052 SF
AVG. SF / UNIT	115 SF
SEMI-PRIVATE (COURTYARD AREA)	
FLOOR 2	4,434 SF
PUBLIC OPEN SPACE	
FLOOR 1	2,386 SF
PERCENTAGE OF SITE	8%
TOTAL OPEN SPACE PROVIDED	
TOTAL	14,872 SF
PERCENTAGE OF AREA	51%

PAVEMENT AREA	
AREA	2,517 SF
PERCENTAGE OF SITE	9%

PUBLIC OPEN SPACE

SEMI-PRIVATE (COURTYARD AREA)

PRIVATE USABLE OPEN SPACE

PAVEMENT AREA

0' 60' 120'

1"=60'

TRUE NORTH

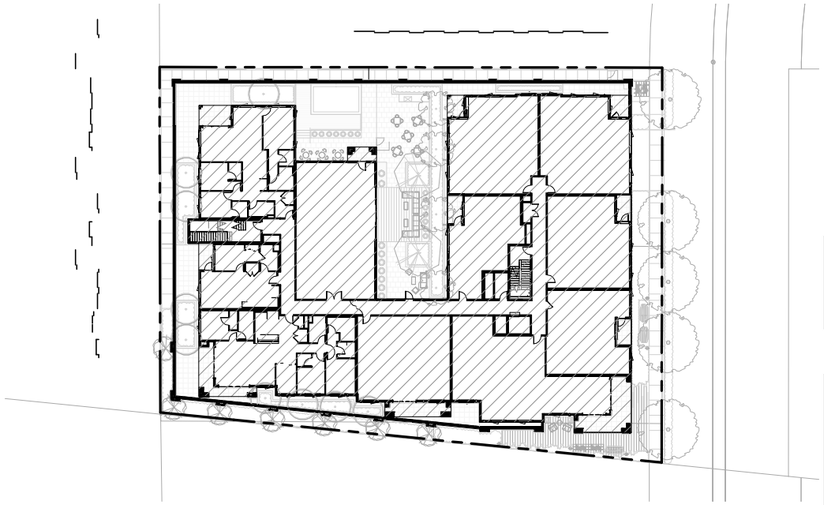
PROJECT NORTH

AP0.16

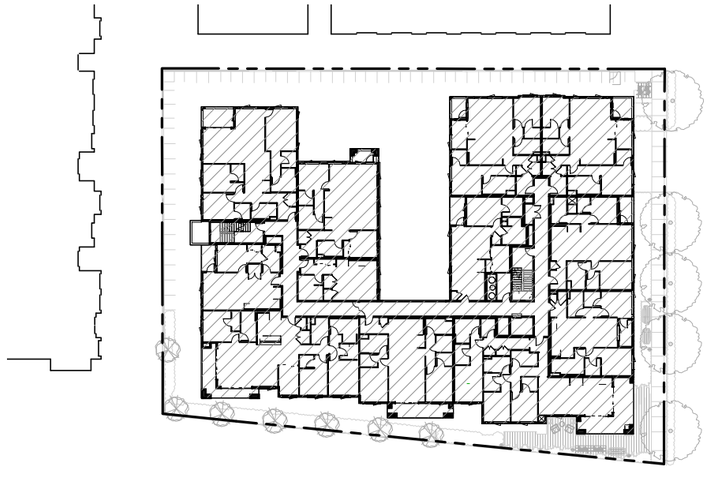
OCTANE FAYETTE

OPEN AREA CALCULATIONS

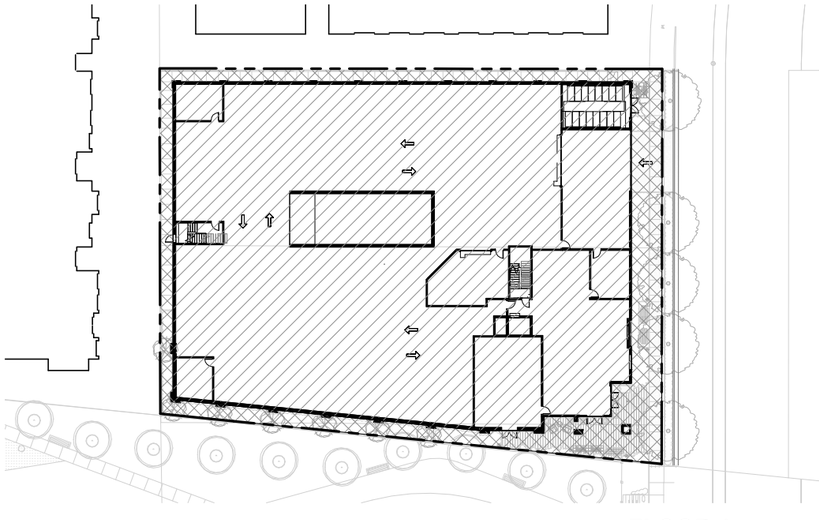
OCTOBER 6, 2023



FLOOR 2



FLOORS 3 - 7



FLOOR 1

LOT AREA	
EXISTING	29,049 SF

FLOOR AREA CALCULATIONS	GROSS BUILDING AREA
BASEMENT - SUBTERRANEAN GARAGE	24,255 SF
FLOOR 1 - GARAGE & AMENITIES	23,957 SF
FLOOR 2 - RESIDENTIAL	17,008 SF
FLOOR 3 - RESIDENTIAL	17,008 SF
FLOOR 4 - RESIDENTIAL	17,008 SF
FLOOR 5 - RESIDENTIAL	17,008 SF
FLOOR 6 - RESIDENTIAL	17,008 SF
FLOOR 7 - RESIDENTIAL	17,008 SF
TOTAL PROPOSED SF	150,260 SF
FAR PROPOSED (INCLUDES GSF ABOVE GRADE)	4.34

BUILDING FLOOR AREA

OPEN AREA

0' 60' 120'

1"=60'

TRUE NORTH

PROJECT NORTH

AP0.17

OCTANE 3DE ARCHITECTURE TGP KIER+WRIGHT

OCTANE FAYETTE

FAR CALCULATIONS

OCTOBER 6, 2023

GreenPointRATED

NEW HOME RATING SYSTEM, VERSION 9.0

MULTIFAMILY

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings.
The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites depending on State. For California: CALGreen Mandatory:H6.1, J5.1, J8, O1. Outside California: ICC 700 Mandatory Measures, H6.1, J5.1, O1.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual v9.0. For more information please visit **www.builditgreen.org/greenpointrated**
Build It Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and submitted through Build It Green.

New Home Multifamily Version 9.0

Planning Scoresheet

Points Targeted: 96.0
Certification Level Targeted: Silver
Compliance Pathway Targeted: Option 1: All Electric Compliance
T24 Compliance Targeted: 10.0 %

Octane Fayette		Points Targeted	Possible Points					Notes
	Measures		Community	Energy	IAQ/Health	Resources	Water	
CALGreen								
Yes	CAl.Green (REQUIRED)	4		1	1	1	1	
A. SITE								
No	A1. Construction Footprint	0				1		
	A2. Job Site Construction Waste Diversion							
Yes	A2.1 70% C&D Waste Diversion (including Alternative Daily Cover)	2				2		
TBD	A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1		
No	A3. Recycled Content Base Material	0				1		
TBD	A4. Heat Island Effect Reduction (Non-Roof)			1	1			
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out				1			
	A6. Stormwater Control: Prescriptive Path							
No	A6.1 Permeable Paving Material	0					1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
No	A6.3 Non-Leaching Roofing Materials	0					1	
No	A6.4 Smart Stormwater Street Design	0	1					
No	A7. Stormwater Control: Performance Path	0					3	
B. FOUNDATION								
No	B1. Low Carbon Concrete	0				3		
No	B2. Radon-Resistant Construction (Required for EPA Radon Zone 1)	0			2			
No	B3. Foundation Drainage System	0				2		
No	B4. Sealed Crawlspace	0			1			
	B5. Structural Pest Controls							

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	0				1		
No	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	0				1		
C. LANDSCAPE								
11.29%	Enter the landscape area percentage. Points capped at 3 for less than 15%.							
No	C1. Plants Grouped by Water Needs (Hydrozoning)	0					1	
No	C2. Three Inches of Organic Mulch in Planting Beds	0					1	
	C3. Resource Efficient Landscapes							
No	C3.1 No Invasive Species According to Region	0				1		
No	C3.2 Plants Chosen and Located to Grow to Natural Size	0				1		
No	C3.3 Drought Tolerant, Native, or Other Appropriate Species	0					3	
	C4. Minimal Turf in Landscape							
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2	
470%	C4.2 Turf on a Small Percentage of Landscaped Area	1					2	
No	C5. Trees to Moderate Building Temperature	0		1	1			
	C6. High-Efficiency Irrigation System							
No	C6.1 System Uses Only Low-Flow Drip, Bubblers or Sprinklers	0					2	
No	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil	0					2	
	C8. Rainwater Harvesting System							
No	C8.1 Rainwater Harvesting System with 300 Gallon Storage Capacity	0					1	
No	C8.2 Rainwater to Flush Toilets or Meet 50% of Landscape Irrigation Demand	0					3	
No	C9. Recycled Wastewater Irrigation System	0					1	
No	C10. Submeter or Dedicated Meter for Landscape Irrigation	0					2	
No	C11. Efficient Landscape Water Budget	0					1	
	C12. Environmentally Preferable Materials for Site							
No	C12.1 Environmentally Preferable Materials for 70% of Hardscapes and Fencing	0				1		
No	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%	0				1		
TBD	C13. Reduced Light Pollution		1					
No	C14. Large Stature Tree(s)	0	1					
No	C15. Third Party Landscape Program Certification	0					1	
No	C16. Maintenance Contract with Certified Professional	0					1	
No	C17. Community Garden	0	2					
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
	D1. Optimal Value Engineering							
No	D1.1 Joists, Rafters, and Studs at 24 Inches on Center	0		1		2		
No	D1.2 Non-Load Bearing Door and Window Headers Sized for Load	0				1		

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	D1.3 Advanced Framing Measures	0				2		
	D2. Construction Material Efficiencies							
TBD	D2.1 Prefabricated Wall or Roof Framing					2		
No	D2.2 Prefabricated Modular Units	0				6		
No	**D3. Engineered Beams and Headers**	0				1		
No	**D4. Insulated Headers**	0		1				
	D5. FSC-Certified Wood							
No	D5.1 Dimensional Lumber, Studs, and Timber	0				6		
No	D5.2 Panel Products	0				3		
	D6. Solid Wall Systems							
No	D6.1 At Least 90% of Floors	0				1		
No	D6.2 At Least 90% of Exterior Walls	0		1		1		
No	D6.3 At Least 90% of Roofs	0		1		1		
No	**D7. Energy Heels on Roof Trusses**	0		1				
No	**D8. Overhangs and Gutters**	0		1		1		
	D9. Reduced Pollution Entering the Home from the Garage							
No	D9.1 Detached or No Garage	0			2			
Yes	D9.2 Mitigation Strategies for Attached Garage	1			1			
	D10. Structural Pest and Rot Controls							
No	D10.1 All Wood Located At Least 12 Inches Above the Soil	0				1		
No	D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or that Materials Other Than Wood	0				1		
No	**D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)**	0			1	1		

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
E. EXTERIOR								
No	**E1. Environmentally Preferable Decking**	0				1		
No	**E2. Flashing Installation Third-Party Verified**	0				2		
No	**E3. Rain Screen Wall System**	0				2		
TBD	**E4. Durable and Non-Combustible Cladding Materials**					1		
TBD	**E5. Durable and Fire Resistant Roofing Materials or Assembly**					1		10 yr manf wrnty + 3 yr sub + Class A
No	**E6. Vegetated Roof**	0	2	2				
TBD	**E7. Cool Roof**			1				
F. INSULATION								
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
Yes	F1.1 Walls and Floors	0.5				0.5		
Yes	F1.2 Ceilings	0.5				0.5		
	F2. Low-Emitting Insulation							
Yes	F2.1 Walls and Floors	0.5			0.5			
Yes	F2.2 Ceilings	0.5			0.5			
	F3. Insulation That Does Not Contain Fire Retardants							
Yes	F3.1 Cavity Walls and Floors	1			1			
Yes	F3.2 Ceilings	1			1			
TBD	F3.3 Interior and Exterior Insulation				1			
G. PLUMBING								
	G1. Efficient Distribution of Domestic Hot Water							
No	G1.2 WaterSense Volume Limit for Hot Water Distribution	0					1	
No	G1.3 Increased Efficiency in Hot Water Distribution	0					2	
	G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads ≤ 1.75 gpm	2					2	
No	G2.1 WaterSense Bathroom Faucets ≤ 1.0 gpm	0					1	
1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams ≤ 1.28 gpf OR ≤ 1.1 gpf	1					2	
No	G2.4 Urinals with Flush Rate of ≤ 0.1 gpf	0					1	
No	**G3. Pre-Plumbing for Greywater System**	0					2	
No	**G4. Operational Greywater System**	0					4	
No	**G5. Thermostatic Shower Shut-Off Valve**	0					1	
TBD	**G6. Submeter Water for Tenants**						2	
H. HEATING, VENTILATION, AND AIR CONDITIONING								
	H1. All Electric or Sealed Combustion Units							
Yes	H1.1 Sealed Combustion Furnace or Heat Pump	1			1			

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
Yes	H1.2 Sealed Combustion or Heat Pump Water Heater	2			2			
No	**H2. High Performing Zoned Hydronic Radiant Heating System**	0		1	1			
	H3. Effective Ductwork							
TBD	H3.1 Duct Mastic on Duct Joints and Seams			1				
No	H3.2 Pressure Balance the Ductwork System	0		1				
	H5. Advanced Practices for Cooling							
No	H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms	0		1				
No	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units	0		1				
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality							
Yes	H6.1 Meet ASHRAE Standard 62.2-2019 Ventilation Residential Standards	Y	R	R	R	R	R	
No	H6.2 Advanced Ventilation Standards	0			2			
No	H6.3 Outdoor Air is Filtered and Tempered	0			1			
	H7. Effective Range Design and Installation							
No	H7.1 Effective Range Hood Ducting and Design	0			1			
No	H7.2 Automatic Range Hood Control	0			1			
No	**H8. High Efficiency HVAC Filter (MERV 16+)**	0			1			
No	**H9. Advanced Refrigerants**	0			1			
I. RENEWABLE ENERGY								
2.6%	**I1. Onsite Renewable Generation (PV, Micro Hydro and Wind)**	0		25				
	I2. Low Carbon Homes							
No	I2.1 Near Zero Energy Home	0		2				
No	I2.2 Near Zero Energy Home with Flexibility Strategies	0		2				
	I3. Energy Storage and Thermal Load Shifting							
No	I3.1 Battery Energy Storage System (BESS)	0		2				
No	I3.2 Auxiliary Thermal Energy Storage System or Pre-Heating of Hot Water	0		1				
No	I3.3 Pre-Cooling Equipment for AC	0		1				
No	**I4. Solar Hot Water Systems to Preheat Domestic Hot Water**	0		4				
J. BUILDING PERFORMANCE AND TESTING								
No	**J1. Third-Party Verification of Quality of Insulation Installation**	0			1			
No	**J2. Supply and Return Air Flow Testing**	0		1	1			
TBD	**J3. Compartmentalization of Units**			1	1			BDE confirmed the units will have a balanced system.
Yes	**J4. All Electric or Combustion Appliance Safety Testing**	1			1			
	J5. Building Energy Performance							
Option 1: All Electric Compliance	J5.1 All Electric Home Outperforms Title 24	45		25+				
0.0%	J5.2 Non-Residential Spaces Outperform Title 24	0.0		15				

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
Yes	**J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst**	1		1				
No	**J7. Participation in Utility Program with Third-Party Plan Review**	0		1				
No	**J8. ENERGY STAR® for Homes**	0		1				
No	**J9. EPA Indoor airPlus Certification**				2			
K. FINISHES								
	K1. Entryways Designed to Reduce Tracked-In Contaminants							
No	K1.1 Entryways to Individual Units	0			1			
Yes	K1.2 Entryways to Buildings	1			1			BDE confirmed mat
	K2. Low-VOC Interior Wall and Ceiling Paints							
TBD	K2.1 Zero-VOC Interior Wall and Ceiling Paints (< 5 g/l)				2			
No	**K3. Low-VOC Caulks and Adhesives**	0			1			
	K4. Environmentally Preferable Materials for Interior Finish							
No	K4.1 Cabinets	0				2		
No	K4.2 Interior Trim	0				2		
No	K4.3 Shelving	0				2		
No	K4.4 Doors	0				2		
No	K4.5 Countertops	0				1		
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB							
No	K5.1 Doors	0			1			
No	K5.2 Cabinets and Countertops	0			2			
No	K5.3 Interior Trim and Shelving	0			2			
No	**K6. Products That Comply With the Health Product Declaration Open Standard**	0			2			
No	**K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion**	0			2			
No	**K8. Comprehensive Inclusion of Low Emitting Finishes**				1			
	K9. Durable Cabinets							
No	K9.1 Durable Cabinet Construction	0				1		
No	K9.2 Durable Cabinet Hardware	0				1		
No	**K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes**	0				1		

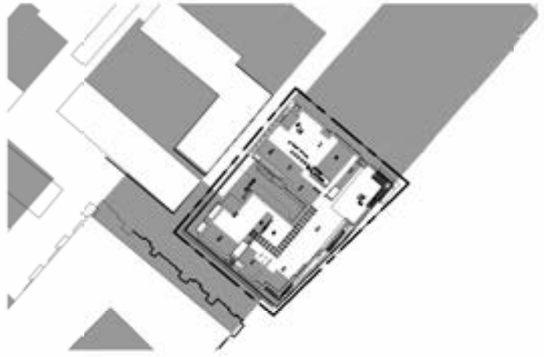
Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
L. FLOORING								
TBD	**L1. Environmentally Preferable Flooring**					3		
TBD	**L3. Durable Flooring**				1	1		
No	**L4. Thermal Mass Flooring**	0		1				
M. APPLIANCES AND LIGHTING								
Yes	**M1. ENERGY STAR® Dishwasher**	1					1	
	M2. Efficient Clothes Washing and Drying							
TBD	M2.1 CEE-Rated or ENERGY STAR® Clothes Washer			1			2	
Yes	M2.2 ENERGY STAR® Dryer	1		2				
No	M2.3 Solar Dryer/ Laundry Lines	0		0.5				
<20 cubic feet	**M3. Size-Efficient ENERGY STAR® Refrigerator**	2		2				
	M4. Permanent Centers for Waste Reduction Strategies							
No	M4.1 Built-In Recycling Center	0				1		
No	M4.2 Built-In Composting Center	0				1		
Yes	M4.3 Triple Trash Chutes in Multifamily Building	1				1		
	M5. Lighting Efficiency							
Yes	M5.1 High-Efficacy Lighting	2		2				
No	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	0		2				
Tier 1	**M6. Electric Vehicle Charging Stations and Infrastructure**	2		2	2			
No	**M7. Central Laundry**	0					1	
Yes	**M8. Gearless Elevator**	1		1				
No	**M9. Gas Infrastructure Removed for Major Alterations**	0			4			
No	**M10. All-Electric Commercial Kitchen**	0			4			
N. COMMUNITY								
	N1. Smart Development							
Yes	N1.1 Infill Site	2	1			1		
No	N1.2 Designated Brownfield Site	0	1			1		
>35	N1.3 Conserve Resources by Increasing Density	4		2		2		
No	N1.4 Cluster Homes for Land Preservation	0	1			1		
	N1.5 Home Size Efficiency	3				10		
1170	Enter the area of the home, in square feet							
2	Enter the number of bedrooms							
	N2. Home(s)/Development Located Near Transit							
Yes	N2.1 Within 1 Mile of a Major Transit Stop	1	1					
No	N2.2 Within 1/2 mile of a Major Transit Stop	0	2					

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
	N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	2	2					
9	Enter the number of Tier 1 services							
4	Enter the number of Tier 2 services							
No	N3.2 Connection to Pedestrian Pathways	0	1					
No	N3.3 Traffic Calming Strategies	0	2					
No	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide	0	1					
≥30%	N3.5 Bicycle Storage for Residents	2	2					
No	N3.6 Bicycle Storage for Non-Residents	0	1					
1.5 spaces per unit	N3.7 Reduced Parking Capacity	1	2					
	N4. Outdoor Gathering Places							
No	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents	0	1					
No	N4.2 Public Outdoor Gathering Places with Direct Access to Community Services	0	1					
	N5. Social Interaction							
TBD	N5.1 Residence Entries with Views to Callers		1					
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1					
No	N5.3 Porches Oriented to Street and Public Space	0	1					
	N6. Passive Solar Design							
No	N6.1 Heating Load	0		2				
No	N6.2 Cooling Load	0		2				
	N7. Adaptable Building							
No	N7.1 Universal Design Principles in Units	0	1		1			
No	N7.2 Full-Function Independent Rental Unit	0	1					
	N8. Resiliency							
No	N8.1 Climate Impact Assessment	0	1		1	1		
No	N8.2 Strategies to Address Assessment Findings	0	1		1	1		
	N9. Social Equity							
No	N9.1 Diverse Workforce	0	1			1		
No	N9.2 Community Location	0	1		1			
	N10. Affordability							
No	N10.1 Dedicated Units for Households Making 80% of AMI or Less	0	2					
No	N10.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less	0	1					
No	N10.3 At Least 20% of Units at 120% AMI or Less are For Sale	0	1					
	N11. Mixed-Use Developments							
No	N11.1 Live/Work Units Include a Dedicated Commercial Entrance	0	1					

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	N11.2 At Least 2% of Development Floor Space Supports Mixed Use	0	1					
No	N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Service	0	1					
O. OTHER								
Yes	**O1. GreenPoint Rated Checklist in Blueprints**	Y	R	R	R	R	R	
No	**O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors**	0		0.5		1	0.5	
No	**O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs**	0		0.5	0.5	0.5	0.5	
No	**O4. Builder's or Developer's Management Staff are Certified Green Building Professionals**	0		0.5	0.5	0.5	0.5	
	O5. Home System Monitors							
No	O5.1 Home Energy System Monitors	0		2				
No	O5.2. Home Water System Monitors	0					2	
No	O5.3. Home Indoor Air Quality System Monitors	0			2			
No	O5.4. Home Outdoor Air Quality System Monitors	0	1		1			
	O6. Green Building Education							
No	O6.1 Marketing Green Building	0	2					
No	O6.2 Green Building Signage	0		0.5			0.5	
Yes	**O7. Green Appraisal Addendum or Energy Efficiency Score**	1	1					
No	**O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation**	0				1		
No	**O9. Residents Are Offered Free or Discounted Transit Passes**	0	2					
No	**O10. Vandalism Deterrence Practices and Vandalism Management Plan**	0	1					
Yes	**O11. Smokefree Housing**	2			2			
No	**O12. Integrated Pest Management Plan**	0			1			
P. DESIGN CONSIDERATIONS								
	P1. Acoustics: Noise and Vibration Control		1		1			
	Enter the number of Tier 1 practices							
	Enter the number of Tier 2 practices							
	P2. Mixed-Use Design Strategies							
No	P2.1 Tenant Improvement Requirements for Build-Outs	0			1		1	
No	P2.2 Commercial Loading Area Separated for Residential Area	0			1			
No	P2.3 Separate Mechanical and Plumbing Systems	0			1			
	P3. Commissioning							
No	P3.1 Design Phase	0		1	1			
No	P3.2 Construction Phase	0		2	1			
No	P3.3 Post-Construction Phase	0		2	1			
No	**P4. Building Enclosure Testing**	0		1	1	1		
INNOVATIONS								

Octane Fayette		Points Targeted	Community	Energy	IAQ/Health	Resources	Water	
No	Enter innovation 1 description here. Enter up to four points at right.	0						
No	Enter innovation 2 description here. Enter up to four points at right.	0						
No	Enter innovation 3 description here. Enter up to four points at right.	0						
No	Enter innovation 4 description here. Enter up to four points at right.	0						
	Summary		Community	Energy	IAQ/Health	Resources	Water	
	Total Available Points in Specific Categories	426	90	132	63	100	91	
	Minimum Points Required in Specific Categories	50	2	25	6	9	6	
	Total Points Targeted	**96.0**	**8.0**	**58.0**	**13.0**	**11.0**	**6.0**	

Draft GreenPoint Rated New Home Multi Family Version 6.0



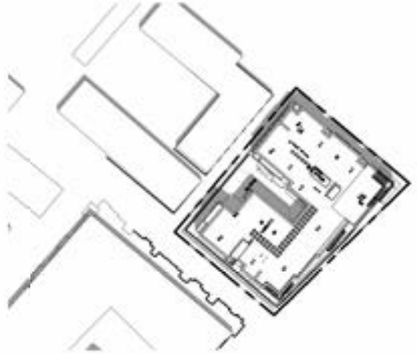
WINTER - 3PM

SPRING / FALL - 3PM

SUMMER - 3PM

WINTER - 12PM

SPRING / FALL - 12PM

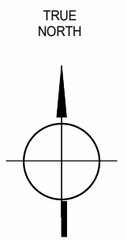


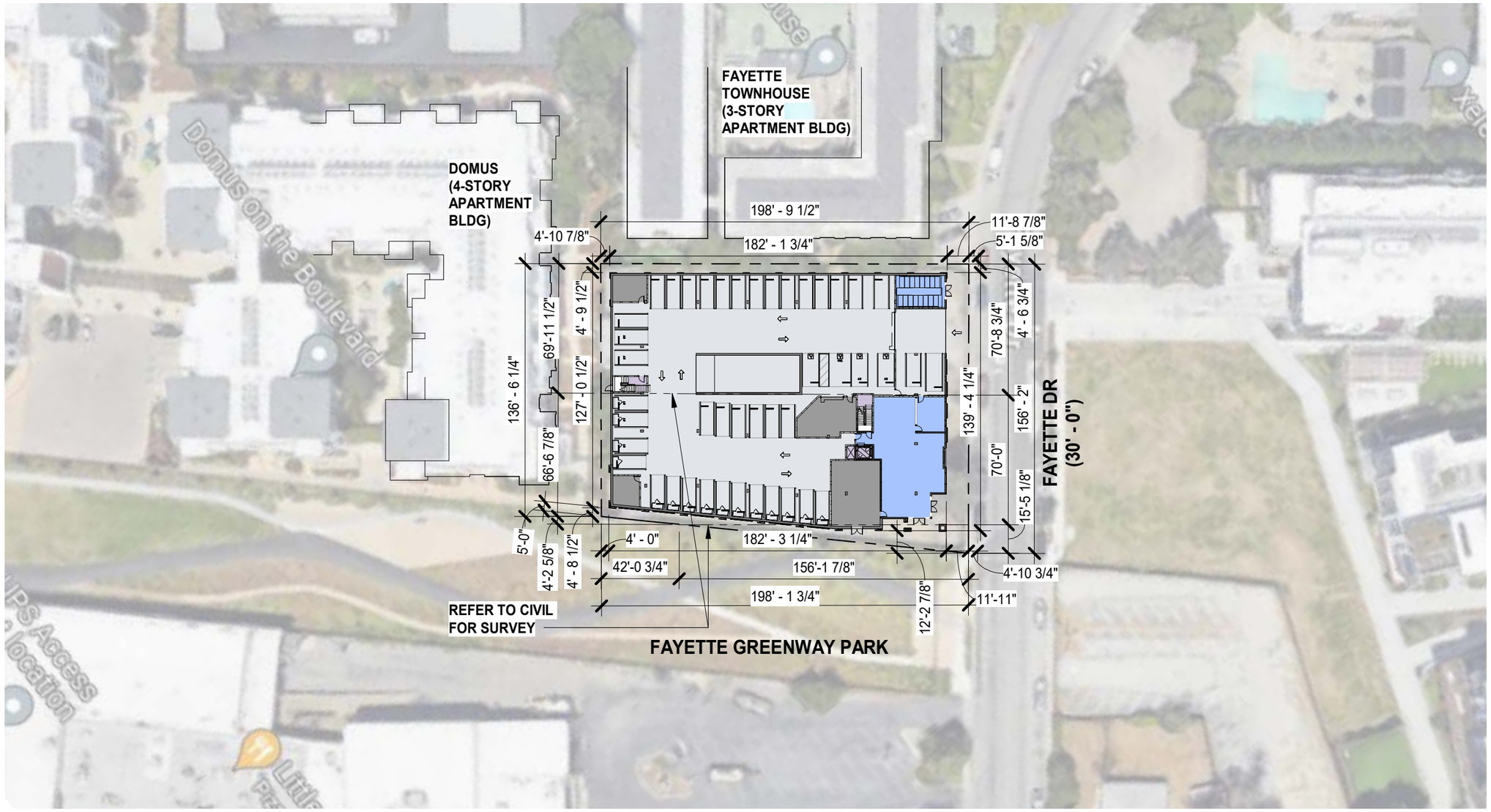
SUMMER - 12PM

WINTER - 9AM

SPRING / FALL - 9AM

SUMMER - 9AM





LEGEND

PROPERTY LINE

EXISTING LOT LINE

0' 60' 120'

1"=60'

TRUE NORTH

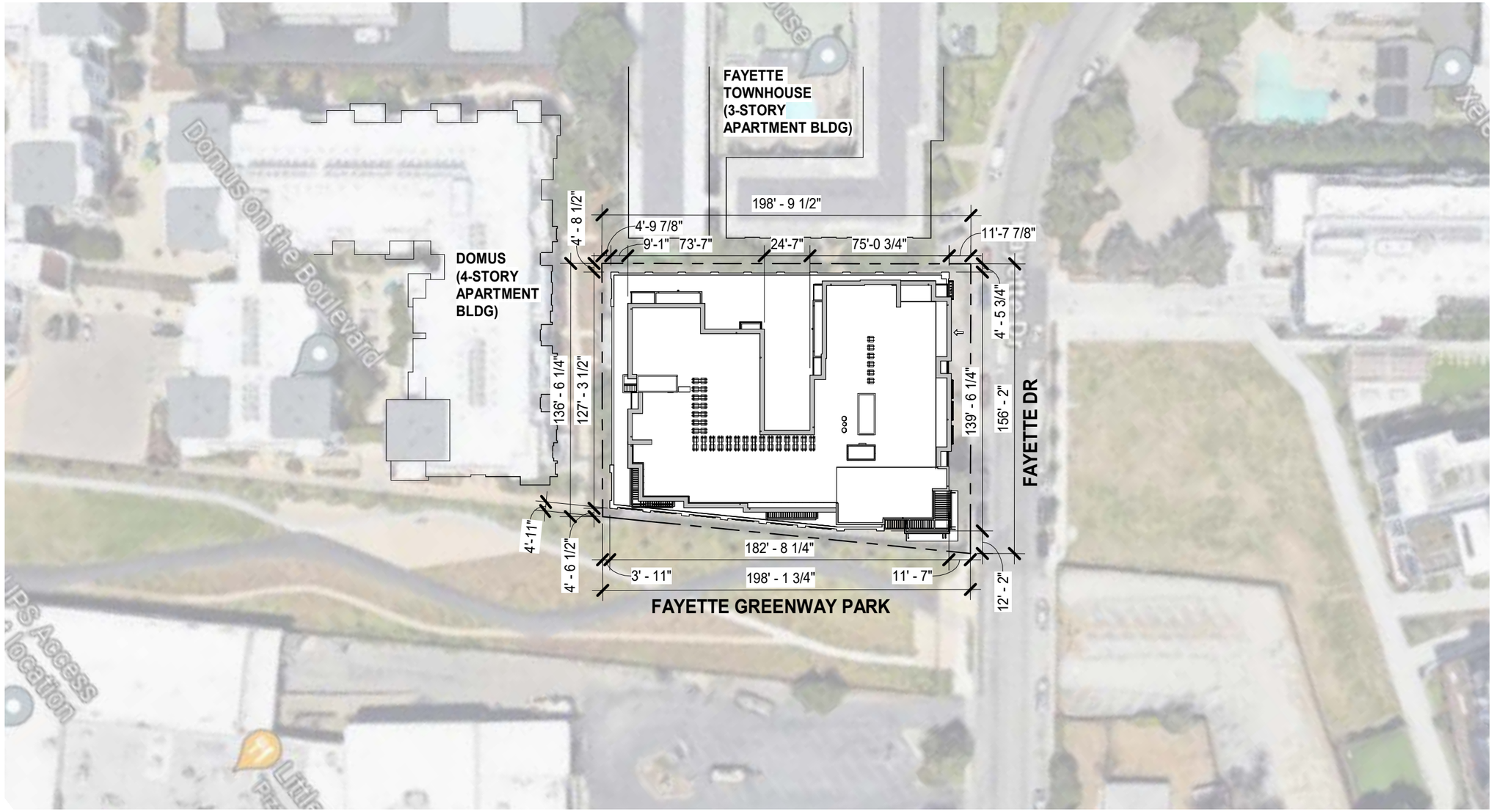
PROJECT NORTH

AP1.00

OCTANE FAYETTE

SITE PLAN GRADE

OCTOBER 6, 2023



0' 60' 120'

1"=60'

TRUE NORTH

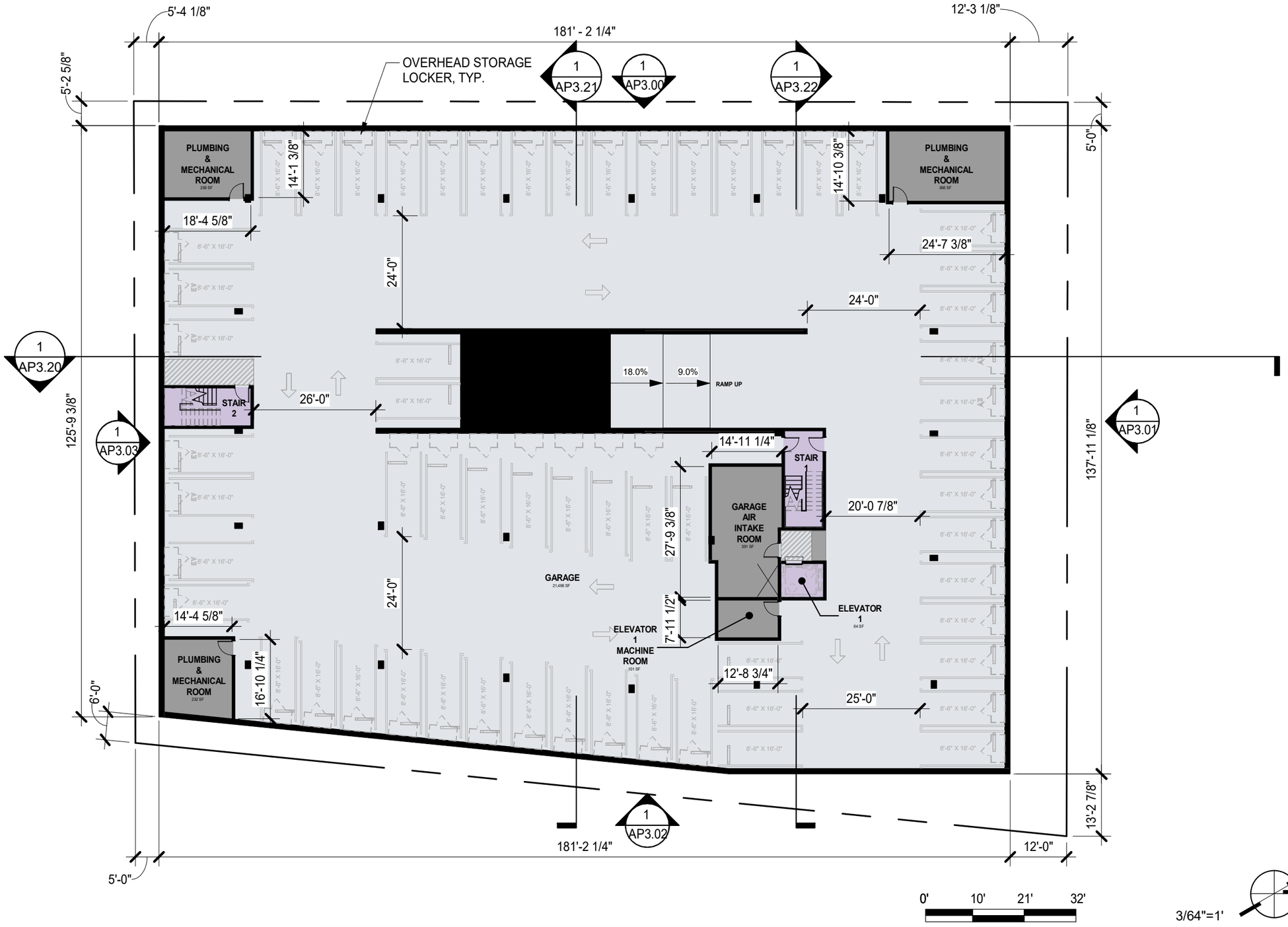
PROJECT NORTH

AP1.01

OCTANE FAYETTE

SITE PLAN ROOF

OCTOBER 6, 2023



AP2.00

OCTANE FAYETTE

BUILDING PLAN - BASEMENT 1

OCTOBER 6, 2023

DOMUS (4-STORY APARTMENT BLDG)

FAYETTE TOWNHOUSE (3-STORY APARTMENT BLDG)

+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" PATIO OPENING
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" PATIO OPENING
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 3'-0" WINDOW
+/- 3'-0" WINDOW
+/- 6'-0" PATIO OPENING

+/- 8'-0" WINDOW
+/- 8'-0" WINDOW
+/- 8'-0" WINDOW
+/- 8'-0" WNDOW
+/- 8'-0" WINDOW
+/- 8'-0" WINDOW
+/- 8'-0" WINDOW

182'-1 3/4"
4'-10 7/8"
4'-9 3/8"
5'-1 5/8"
11'-8 7/8"
26'-5 1/4"
4'-6 3/4"
139'-4 3/8"
127'-0 1/2"

RETAINING WALL

1 AP3.21
1 AP3.00
1 AP3.22
1 AP3.20
1 AP3.03
1 AP3.01
1 AP3.02

SPA EQUIPMENT ROOM 263 SF
14'-2 3/8"
18'-5 5/8"
24'-0"
GARAGE 16,488 SF
GARAGE 1,254 SF
BIKE STORAGE ROOM 452 SF
17'-0 3/4"
GARAGE ACCESS
STAIR 2
RAMP DOWN
9.0%
18.0%
26'-0"
15'-2 1/8"
STAIR 1
TRASH ROOM 595 SF
31'-11 1/4"
21'-7"
MAIL PACKAGE ROOM 285 SF
18'-9 3/4"
47'-11 5/8"
ELEVATOR 1 64 SF
BUILDING LOBBY AREA 1,999 SF
64'-11 1/8"
PLUMBING & MECHANICAL ROOM 230 SF
14'-3 5/8"
16'-9 1/4"
35'-7 7/8"
MAIN ELECTRICAL ROOM 936 SF
26'-5"
12'-2 7/8"
11'-11"
4'-10 3/4"
5'-0"
4'-0"
182'-3 1/4"
FAYETTE DR
FAYETTE GREENWAY PARK

0' 10' 21' 32'
3/64"=1'

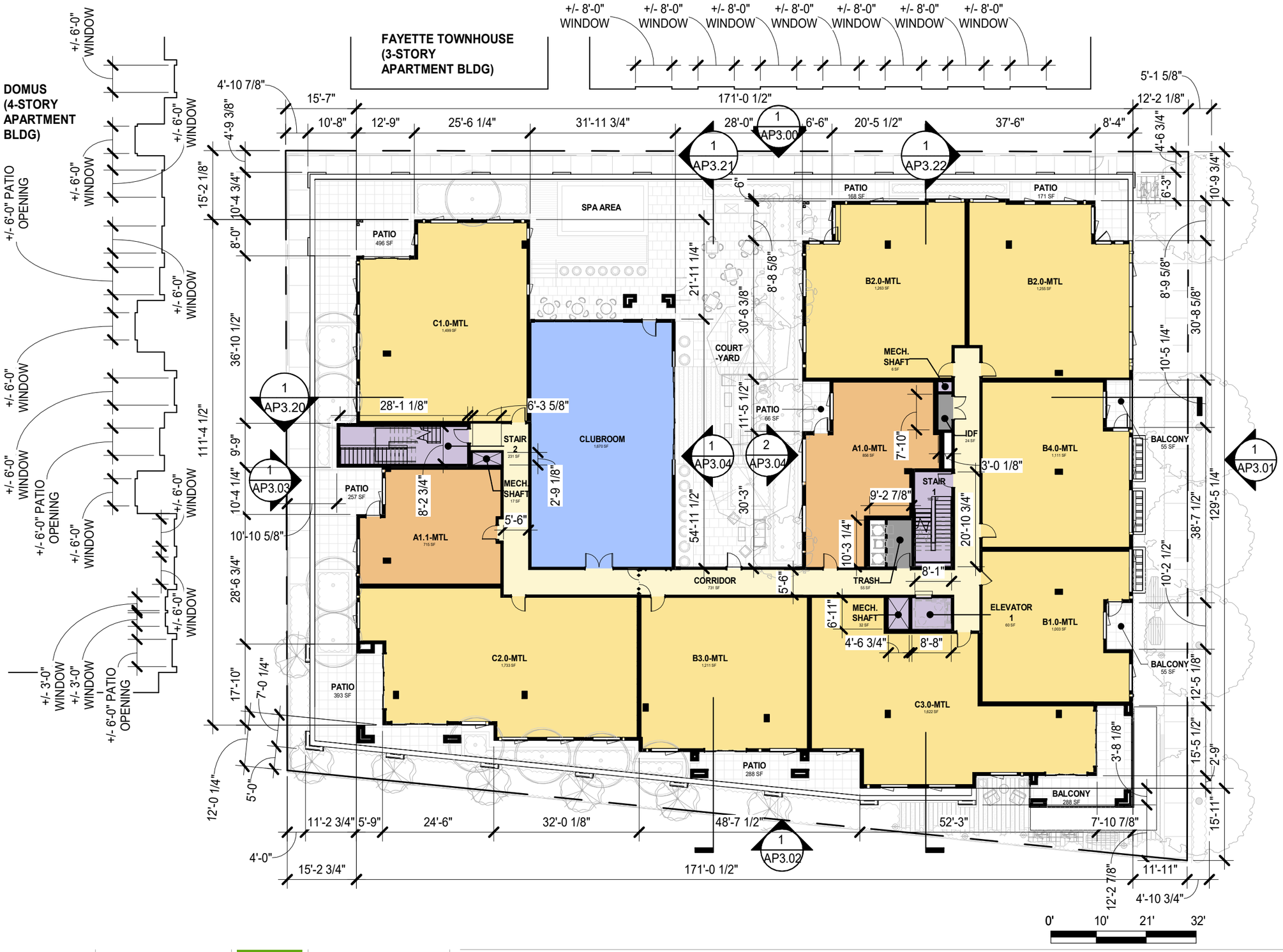
TRUE NORTH
PROJECT NORTH

AP2.01

OCTANE FAYETTE

BUILDING PLAN - FLOOR 1

OCTOBER 6, 2023

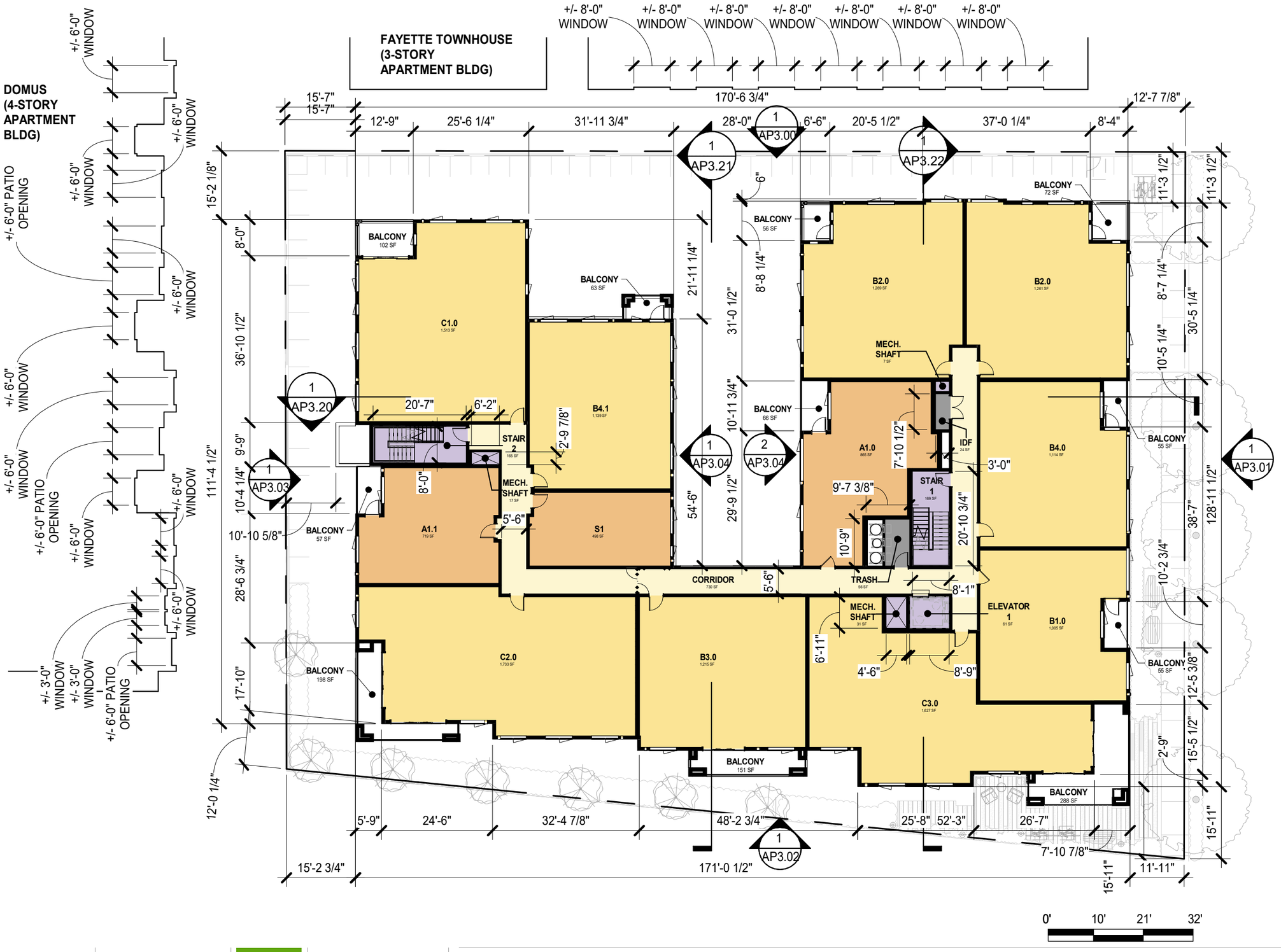


AP2.02

OCTANE FAYETTE

BUILDING PLAN - FLOOR 2

OCTOBER 6, 2023



3/64"=1'

AP2.03

OCTANE FAYETTE

BUILDING PLAN - FLOOR 3

OCTOBER 6, 2023

DOMUS (4-STORY APARTMENT BLDG)

+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" PATIO OPENING
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" WINDOW
+/- 6'-0" PATIO OPENING
+/- 6'-0" WINDOW
+/- 3'-0" WINDOW
+/- 3'-0" WINDOW
+/- 6'-0" PATIO OPENING

15'-7" 170'-6 3/4" 12'-7 7/8"
12'-9" 25'-6 1/4" 31'-11 3/4" 28'-0" 6'-6" 20'-5 1/2" 37'-0 1/4" 8'-4"
15'-2 1/8" 111'-4 1/2" 12'-0 1/4"
8'-0" 37'-4" 9'-0 1/2" 10'-7 1/4" 28'-2" 18'-2 3/4"
21'-11 1/4" 54'-6" 31'-0 1/2" 29'-9 1/2" 10'-11 3/4"
8'-8 1/4" 10'-7 3/4" 30'-2" 38'-6 3/4" 128'-11 1/2"
11'-3 1/2" 8'-8 1/4" 10'-2 3/4" 12'-5 3/8" 15'-5 1/2" 2'-9" 15'-11"
6" 2'-9 7/8" 11'-2" 6'-1" 20'-10 3/4"
20'-7" 6'-2" 5'-6" 5'-10" 8'-1" 4'-6" 8'-9" 3'-0" 10'-1 3/8" 7'-10 1/2"
5'-9" 24'-6" 32'-4 7/8" 48'-2 3/4" 25'-8" 52'-3" 26'-7" 7'-1 1/8" 15'-2 3/4" 171'-0 1/2" 11'-11"

1 AP3.00
1 AP3.21
1 AP3.22
1 AP3.20
1 AP3.03
1 AP3.04
2 AP3.04
1 AP3.01
1 AP3.02

BALCONY 102 SF
BALCONY 63 SF
BALCONY 72 SF
BALCONY 56 SF
BALCONY 66 SF
BALCONY 55 SF
BALCONY 57 SF
BALCONY 198 SF
BALCONY 151 SF
BALCONY 288 SF

C1.0 1,513 SF
B4.1 1,139 SF
A1.1 719 SF
S1 498 SF
B-2.0 1,269 SF
B2.0 1,260 SF
A1.0 865 SF
B4.0 1,022 SF
C2.0 1,733 SF
B3.0 1,215 SF
C-3.0 1,627 SF
B-1.0 1,084 SF

STAIR 2 165 SF
STAIR 1 169 SF
MECH. SHAFT 17 SF
MECH. SHAFT 7 SF
MECH. SHAFT 31 SF
IDF 24 SF
CORRIDOR 393 SF
CORRIDOR 738 SF
TRASH 58 SF
ELEVATOR 1 61 SF

0' 10' 21' 32'

TRUE NORTH
PROJECT NORTH

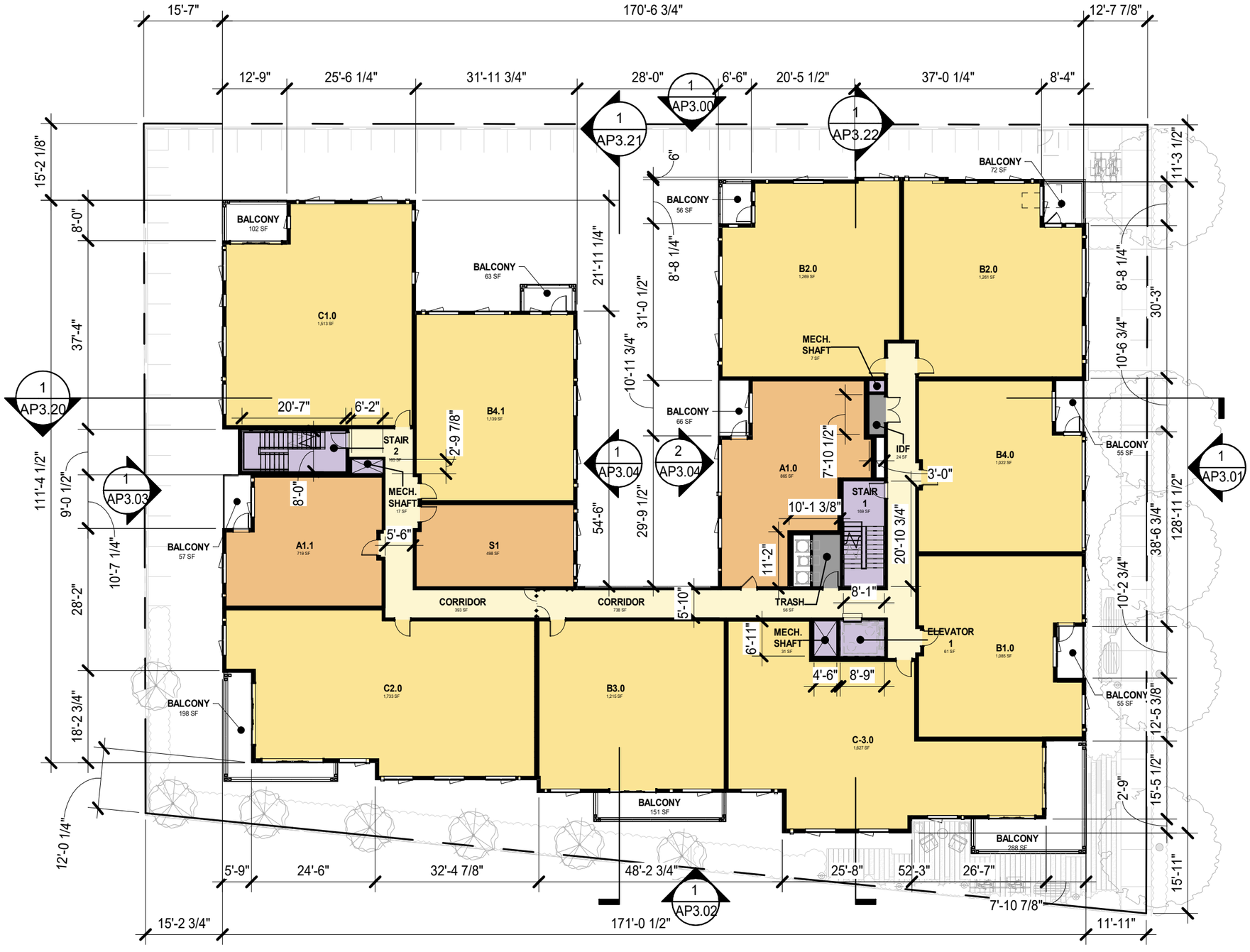
3/64"=1'

AP2.04

OCTANE FAYETTE

BUILDING PLAN - FLOOR 4

OCTOBER 6, 2023



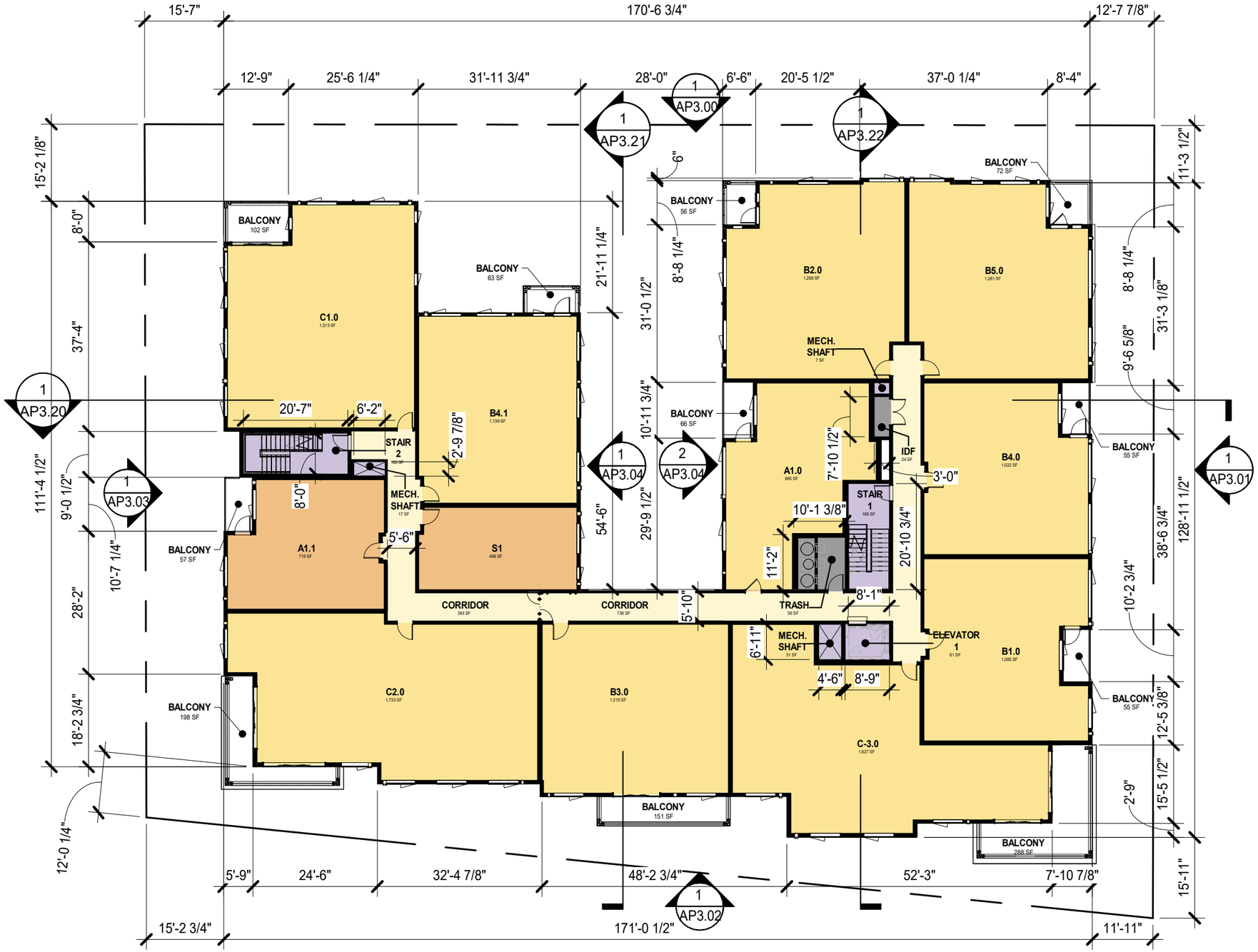
3/64"=1'

AP2.05

OCTANE FAYETTE

BUILDING PLAN - FLOOR 5

OCTOBER 6, 2023

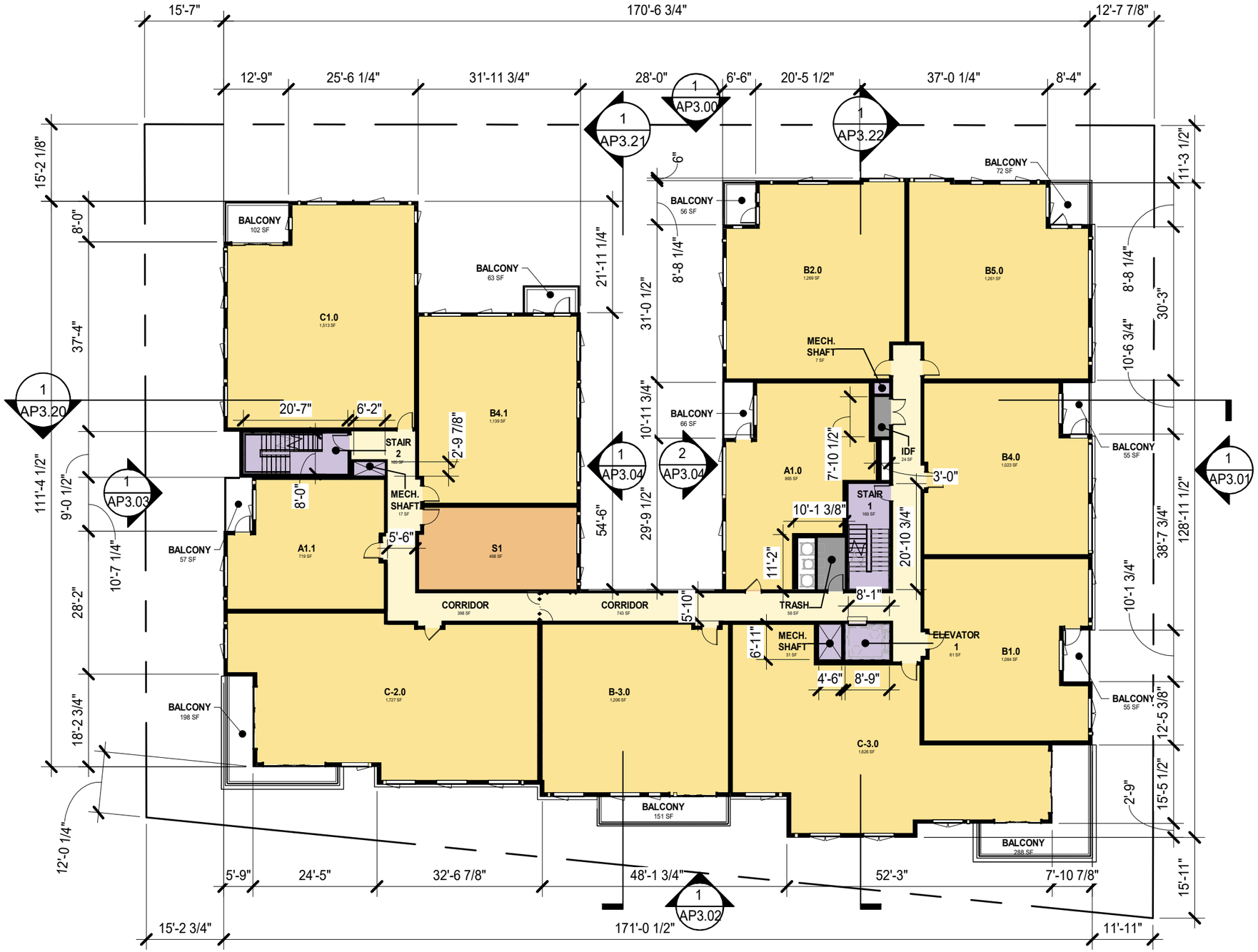


AP2.06

OCTANE FAYETTE

BUILDING PLAN - FLOOR 6

OCTOBER 6, 2023



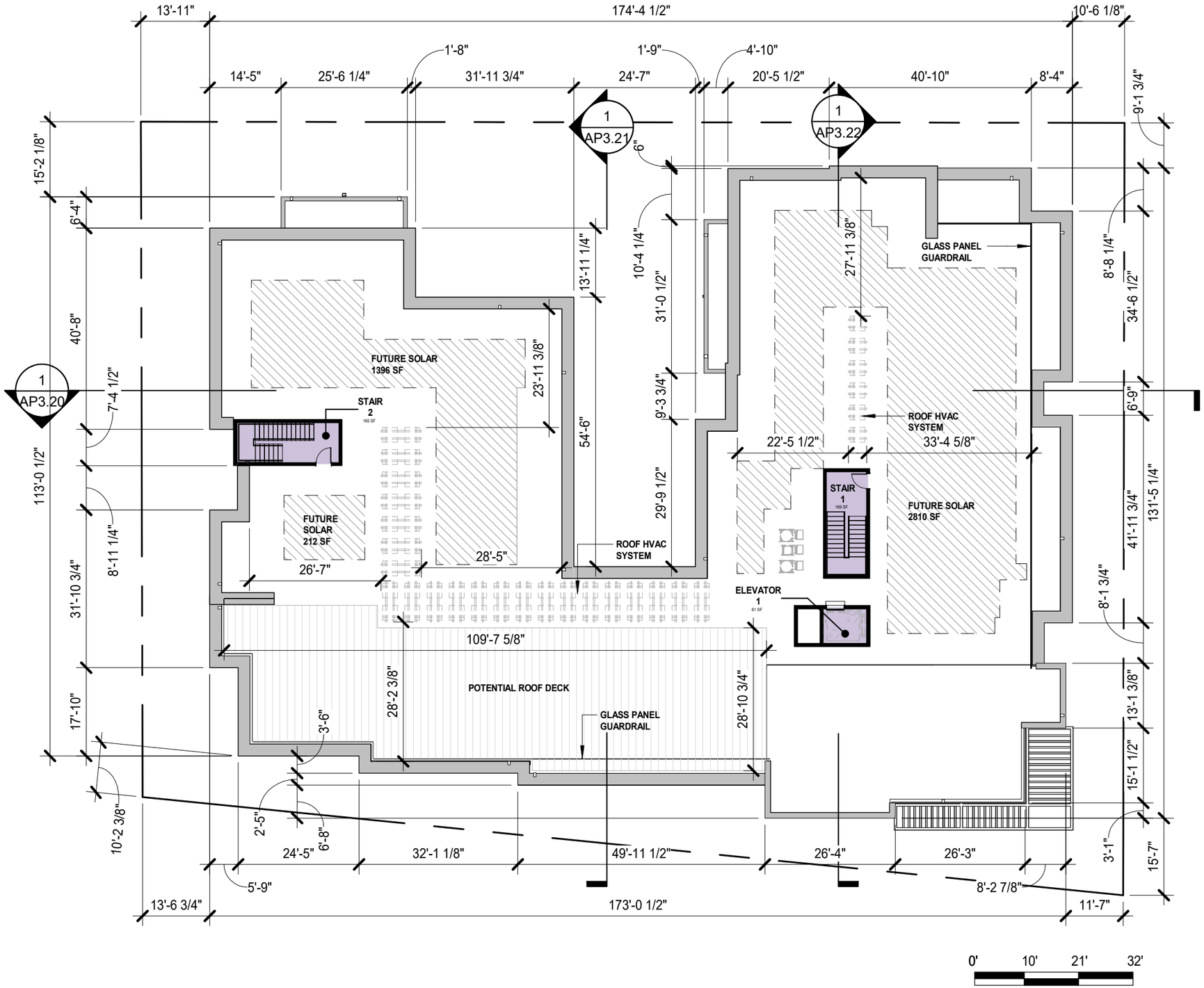
3/64"=1'

AP2.07

OCTANE FAYETTE

BUILDING PLAN - FLOOR 7

OCTOBER 6, 2023



3/64"=1'

AP2.08

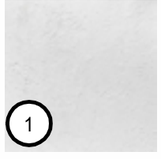
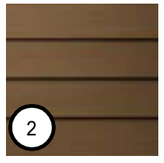
OCTANE FAYETTE

BUILDING PLAN - ROOF

OCTOBER 6, 2023

* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

LEGEND

 1 STUCCO	 2 LAP SIDING	 3 BRICK VENEER	 4 BRAKE METAL (DARK GREY)	 5 WOOD LIKE SOFFIT	 6 METAL AND WOOD ACCENT AWNINGS	 7 STOREFRONT AND NANA DOORS (BLACK)	 8 VINYL WINDOW (BLACK)	 9 METAL RAILING (BLACK)	 10 GLASS RAILING	11 MECHANICAL VENT, TYP. 12 DOWNSPOUT 13 COPING 14 ELEVATOR PENTHOUSE 15 STAIR PENTHOUSE
A SW7100 ARCADE WHITE	B SW7635 PALISADE	C SW9083 DUSTED TRUFFLE	D SW6096 JUTE BROWN	E DARK GREY						

0' 20' 40'

1"=20'

AP3.00

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

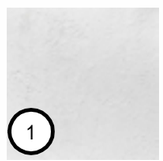
OCTANE FAYETTE

PLANNING ELEVATIONS - NORTH

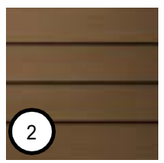
OCTOBER 6, 2023

* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

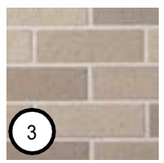
LEGEND



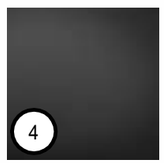
1 STUCCO



2 LAP SIDING



3 BRICK VENEER



4 BRAKE METAL (DARK GREY)

5 WOOD LIKE SOFFIT

6 METAL AND WOOD ACCENT AWNINGS

7 STOREFRONT AND NANA DOORS (BLACK)

8 VINYL WINDOW (BLACK)

9 METAL RAILING (BLACK)

10 GLASS RAILING

A SW7100 ARCADE WHITE

B SW7635 PALISADE

C SW9083 DUSTED TRUFFLE

D SW6096 JUTE BROWN

E DARK GREY

11 MECHANICAL VENT, TYP.

12 DOWNSPOUT

13 COPING

14 ELEVATOR PENTHOUSE

15 STAIR PENTHOUSE

16 EXT. SIGNAGE LOCATION

0' 20' 40'

1"=20'

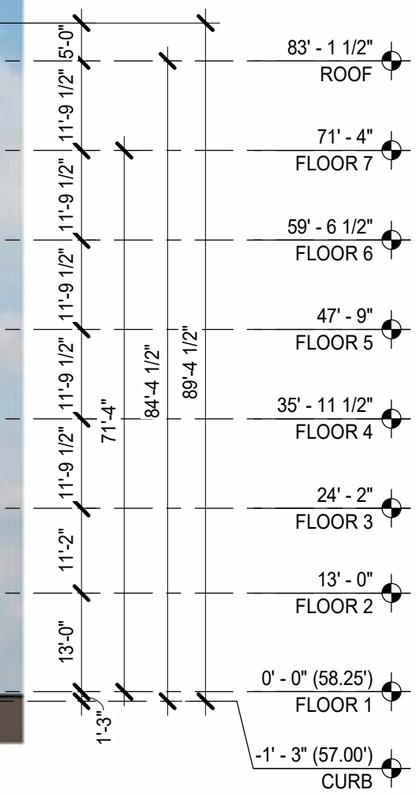
AP3.01

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

PLANNING ELEVATIONS - EAST

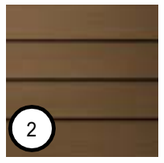
OCTOBER 6, 2023

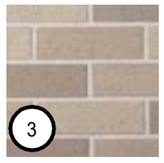


* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

LEGEND


1 STUCCO


2 LAP SIDING


3 BRICK VENEER


4 BRAKE METAL (DARK GREY)


5 WOOD LIKE SOFFIT


6 METAL AND WOOD ACCENT AWNINGS


7 STOREFRONT AND NANA DOORS (BLACK)


8 VINYL WINDOW (BLACK)


9 METAL RAILING (BLACK)


10 GLASS RAILING

A SW7100 ARCADE WHITE

B SW7635 PALISADE

C SW9083 DUSTED TRUFFLE

D SW6096 JUTE BROWN

E DARK GREY

11 MECHANICAL VENT, TYP.

12 DOWNSPOUT

13 COPING

14 ELEVATOR PENTHOUSE

15 STAIR PENTHOUSE

0' 20' 40'

1"=20'

AP3.02

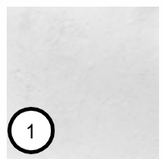
OCTANE FAYETTE

PLANNING ELEVATIONS - SOUTH

OCTOBER 6, 2023

* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

LEGEND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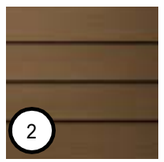
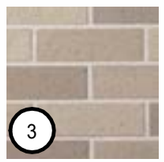

2 LAP SIDING


3 BRICK VENEER


4 BRAKE METAL (DARK GREY)


5 WOOD LIKE SOFFIT


6 METAL AND WOOD ACCENT AWNINGS


7 STOREFRONT AND NANA DOORS (BLACK)


8 VINYL WINDOW (BLACK)


9 METAL RAILING (BLACK)


10 GLASS RAILING

A SW7100 ARCADE WHITE

B SW7635 PALISADE

C SW9083 DUSTED TRUFFLE

D SW6096 JUTE BROWN

E DARK GREY

11 MECHANICAL VENT, TYP.

12 DOWNSPOUT

13 COPING

14 ELEVATOR PENTHOUSE

15 STAIR PENTHOUSE

0' 20' 40'

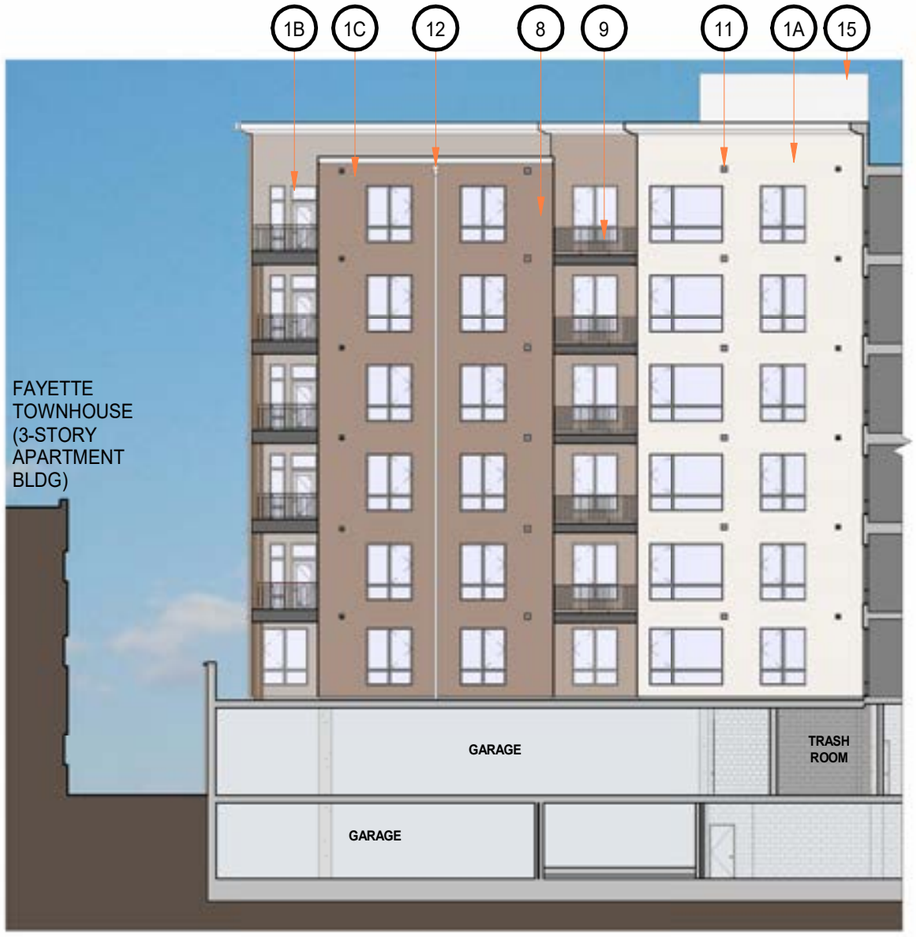
1"=20'

AP3.03

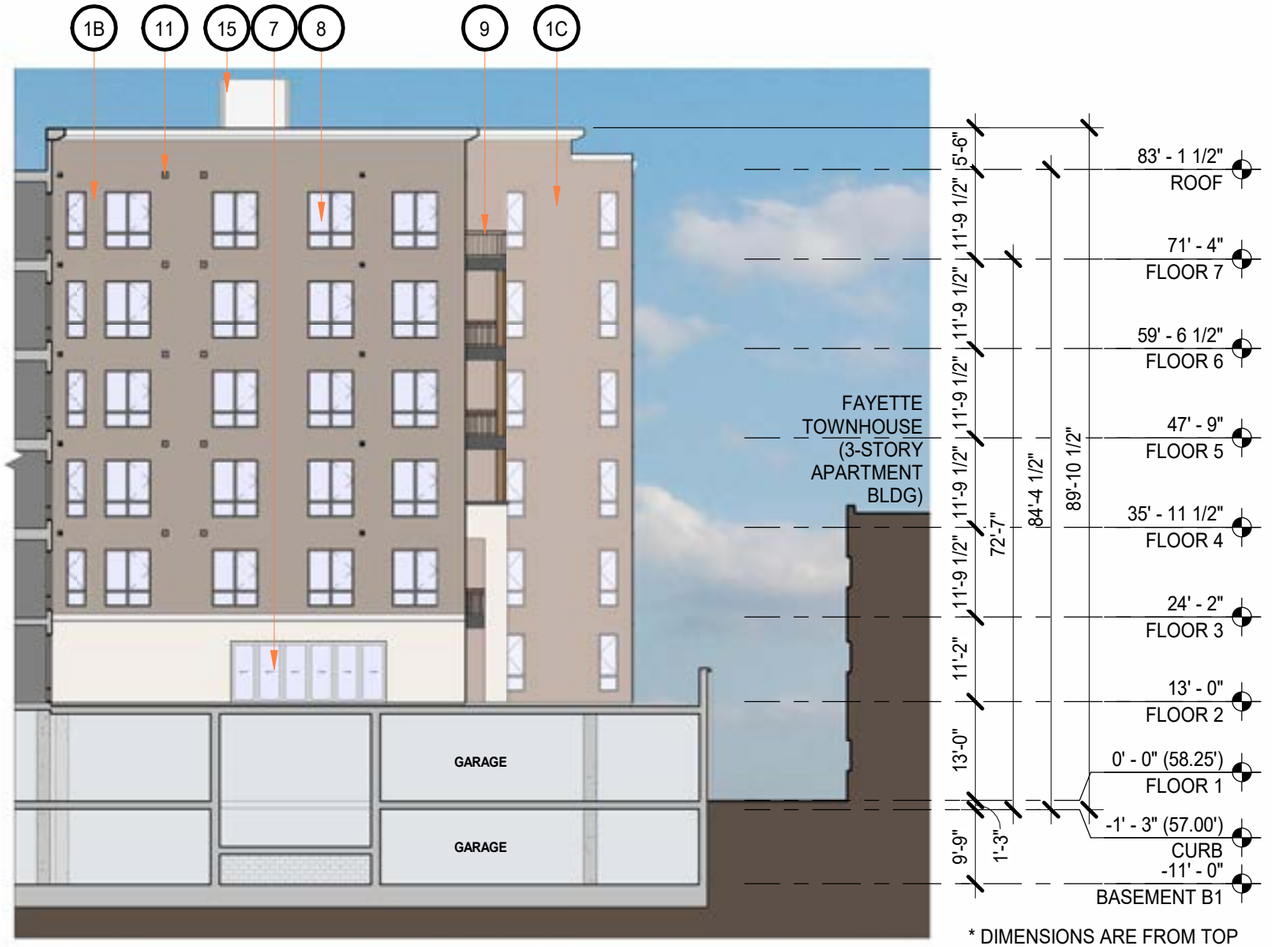
OCTANE FAYETTE

PLANNING ELEVATIONS - WEST

OCTOBER 6, 2023



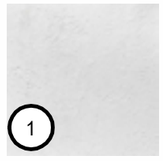
ELEVATION - COURTYARD EAST 2



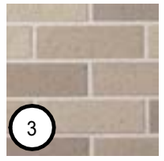
ELEVATION - COURTYARD WEST 1

* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

LEGEND


1 STUCCO


2 LAP SIDING


3 BRICK VENEER


4 BRAKE METAL (DARK GREY)


5 WOOD LIKE SOFFIT


6 METAL AND WOOD ACCENT AWNINGS


7 STOREFRONT AND NANA DOORS (BLACK)


8 VINYL WINDOW (BLACK)


9 METAL RAILING (BLACK)


10 GLASS RAILING

A SW7100 ARCADE WHITE

B SW7635 PALISADE

C SW9083 DUSTED TRUFFLE

D SW6096 JUTE BROWN

E DARK GREY

11 MECHANICAL VENT, TYP.

12 DOWNSPOUT

13 COPING

14 ELEVATOR PENTHOUSE

15 STAIR PENTHOUSE

0' 20' 40'

1"=20'

AP3.04

OCTANE FAYETTE

PLANNING ELEVATIONS - COURTYARD

OCTOBER 6, 2023

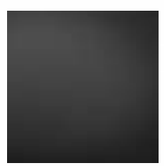
NORTH ELEVATION @ FAYETTE TOWNHOMES

EAST ELEVATION @ FAYETTE DR

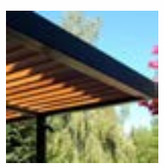
STUCCO

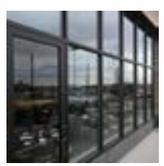

LAP SIDING


BRICK VENEER


BRAKE METAL (DARK GREY)


WOOD LIKE SOFFIT


METAL AND WOOD ACCENT AWNINGS


STOREFRONT AND NANA DOORS (BLACK)


VINYL WINDOW (BLACK)


METAL RAILING (BLACK)

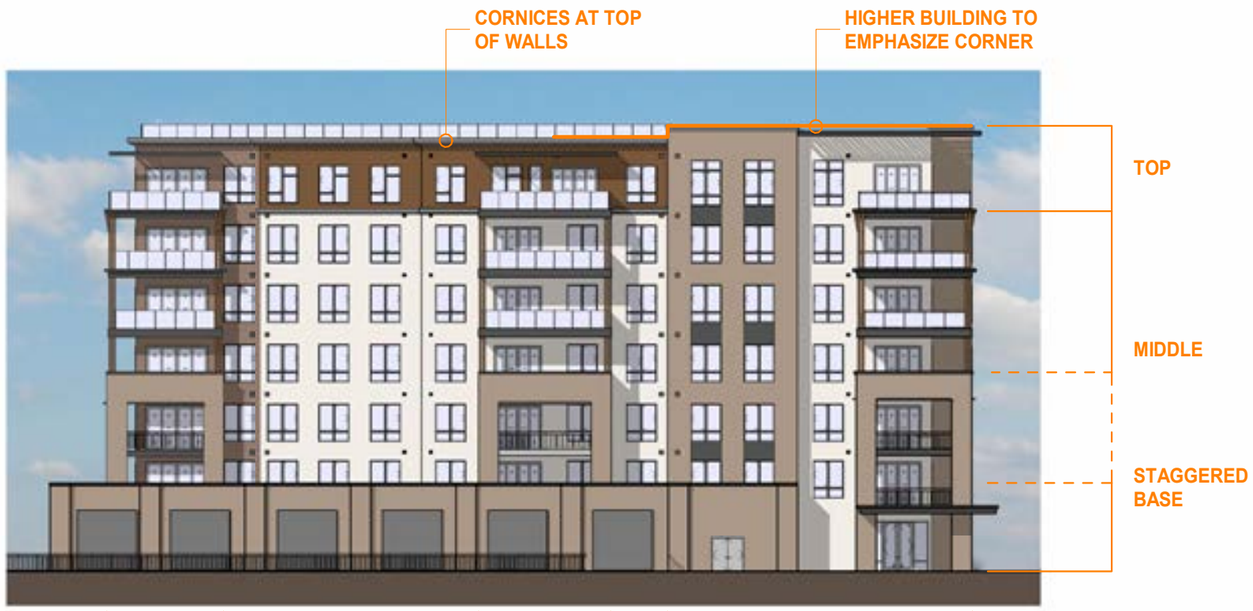

GLASS RAILING

AP3.05

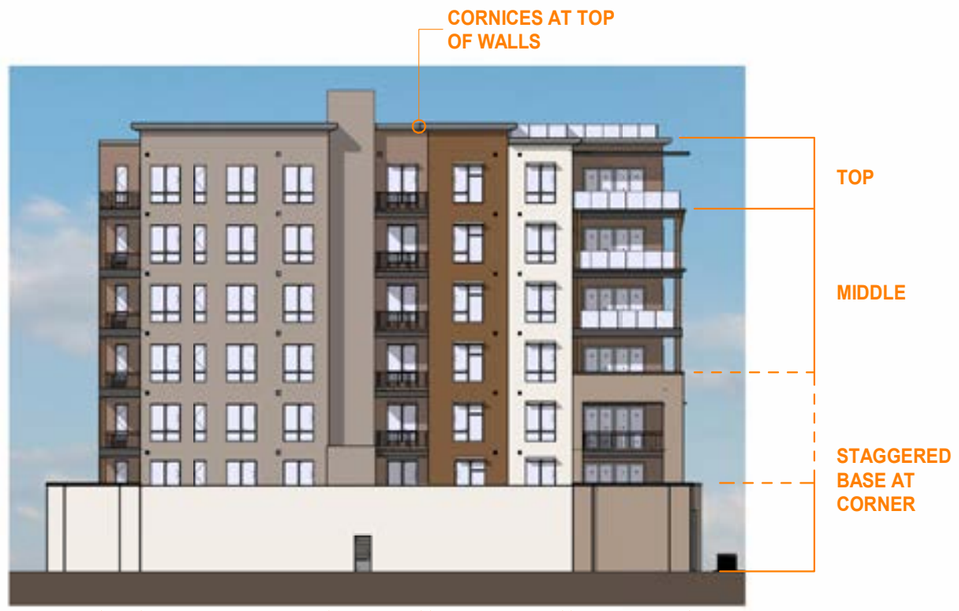
OCTANE FAYETTE

ELEVATION DIAGRAMS

OCTOBER 6, 2023



SOUTH ELEVATION @ HETCH HETCHY



WEST ELEVATION @ DOMUS APARTMENTS

STUCCO


LAP SIDING


BRICK VENEER


BRAKE METAL (DARK GREY)


WOOD LIKE SOFFIT

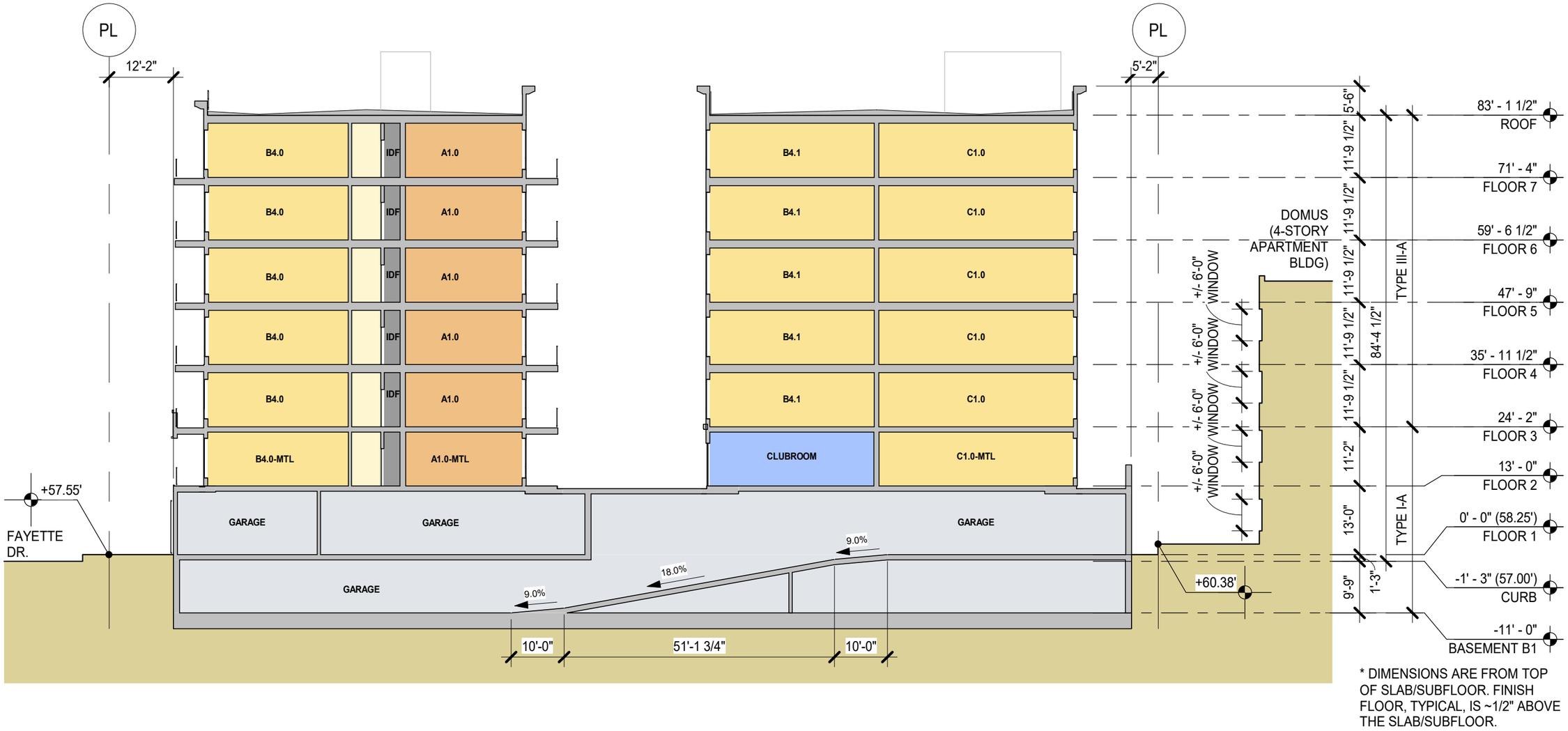

METAL AND WOOD ACCENT AWNINGS


STOREFRONT AND NANA DOORS (BLACK)


VINYL WINDOW (BLACK)


METAL RAILING (BLACK)


GLASS RAILING



* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

0' 20' 40'

1"=20'

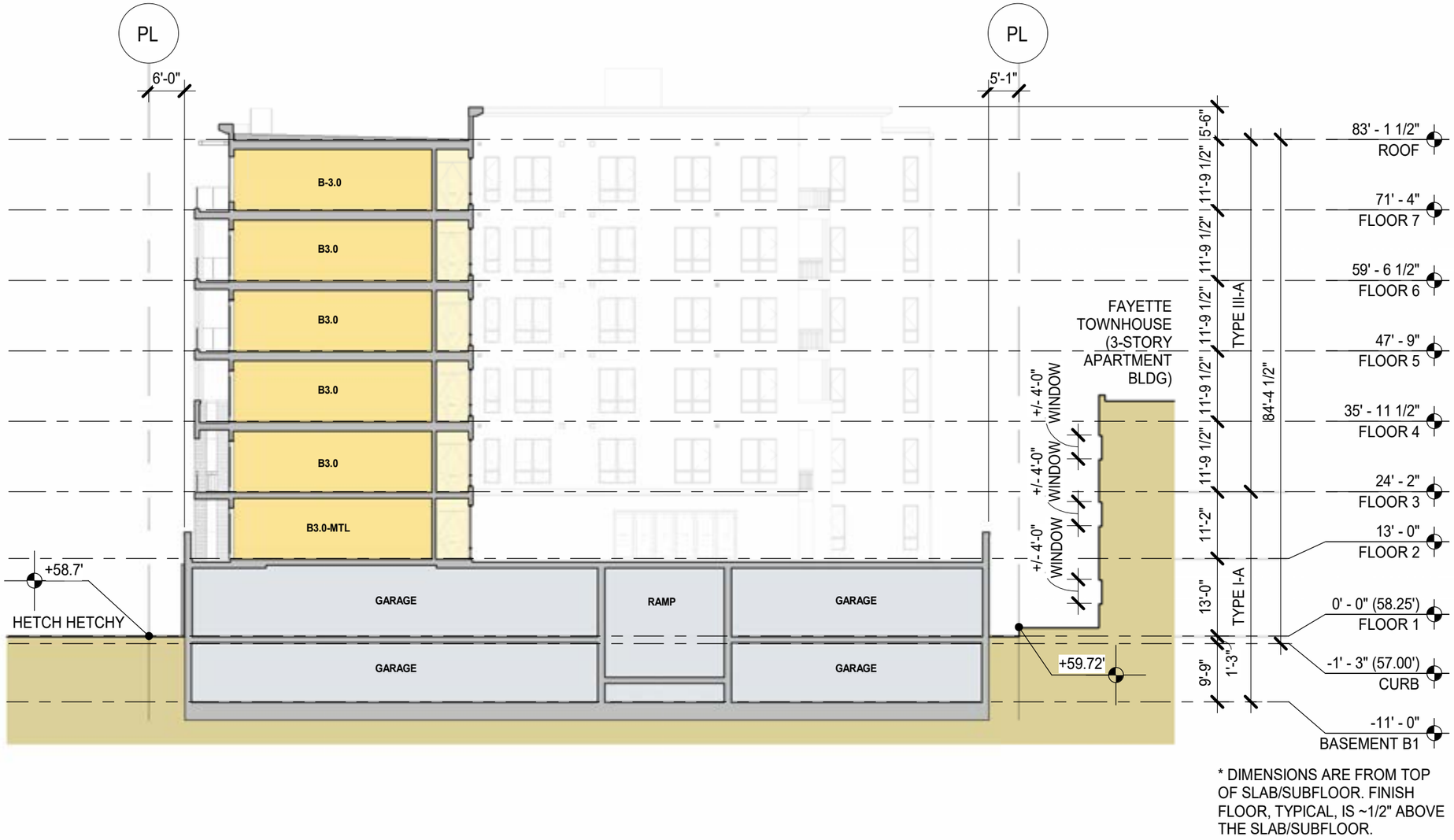
AP3.20

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

BUILDING SECTION - EAST TO WEST

OCTOBER 6, 2023



* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

0' 20' 40'

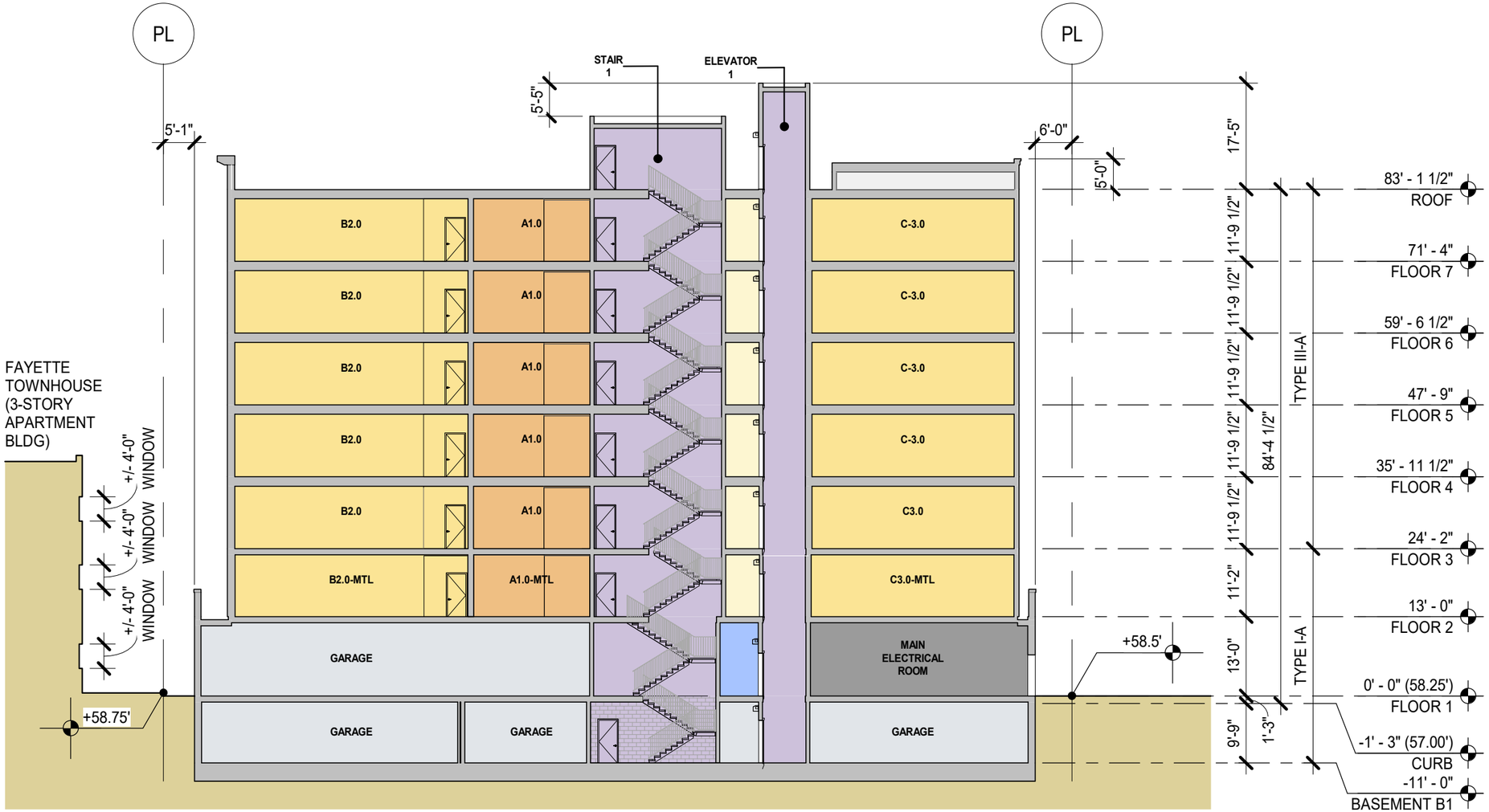
1"=20'

AP3.21

OCTANE FAYETTE

BUILDING SECTION - NORTH TO SOUTH

OCTOBER 6, 2023



* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

0' 20' 40'

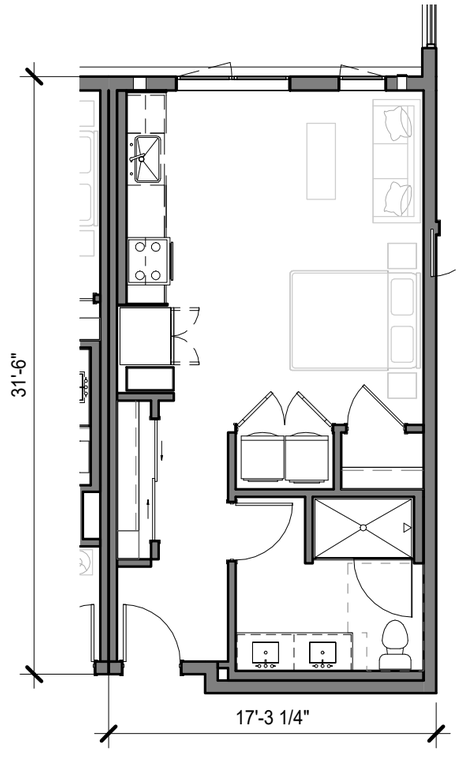
1"=20'

AP3.22

OCTANE FAYETTE

BUILDING SECTION - STAIR & ELEV.

OCTOBER 6, 2023



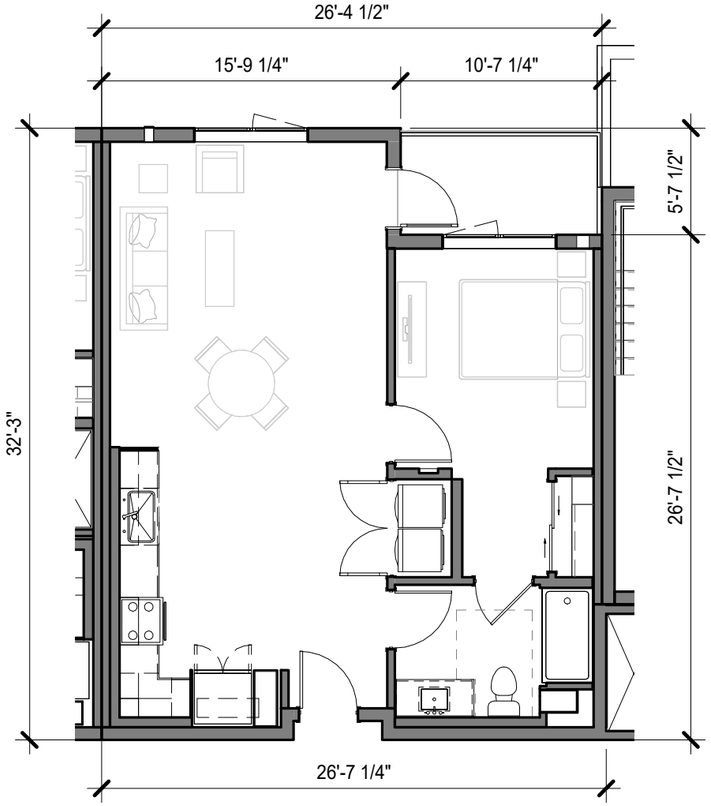
S1 - WOOD

FLOOR 3-7

0' 4' 8' 16'

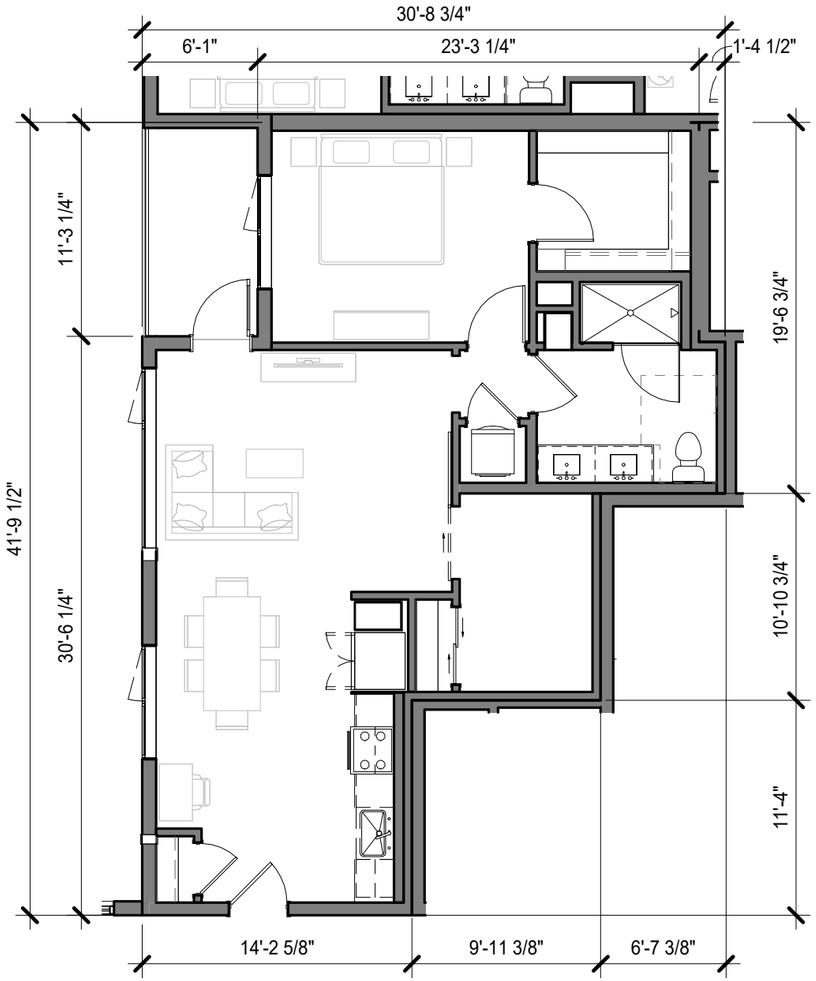
1/8"=1'

AP4.00



A1.1 - MTL & WOOD

FLOOR 2-7



A1.0 - MTL & WOOD

FLOOR 2-7

0' 4' 8' 16'

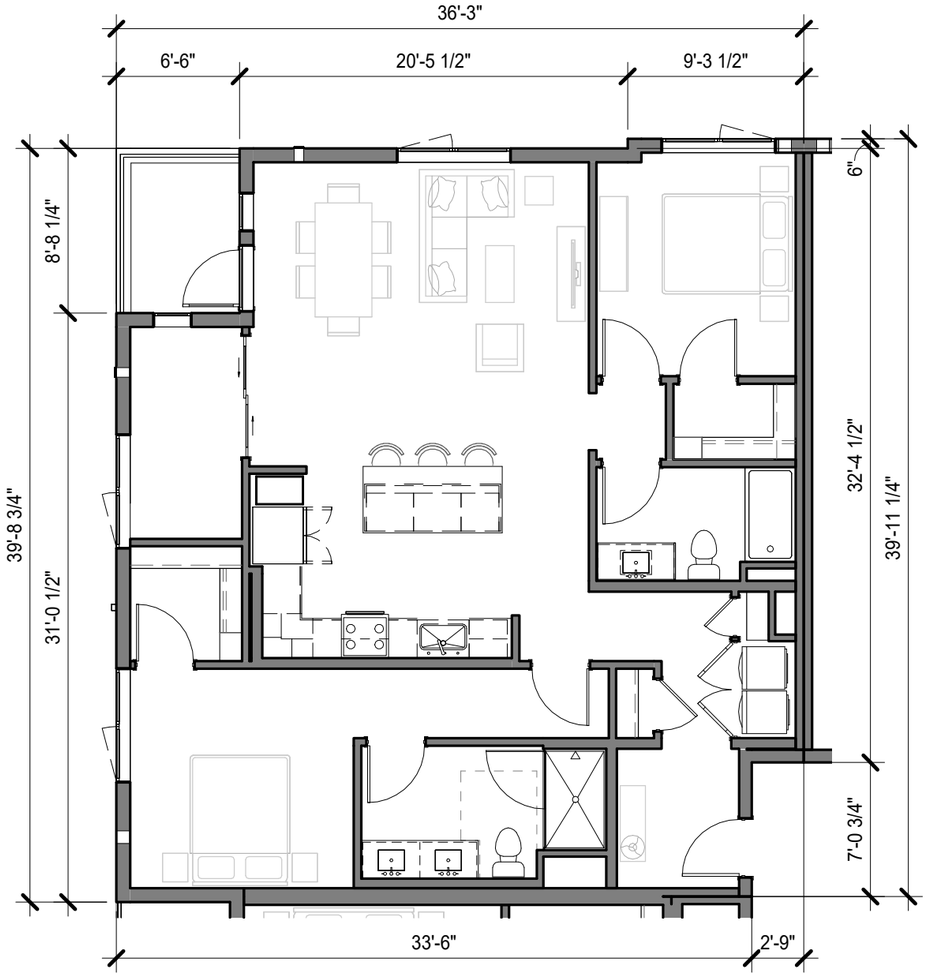
1/8"=1'

AP4.01

OCTANE FAYETTE

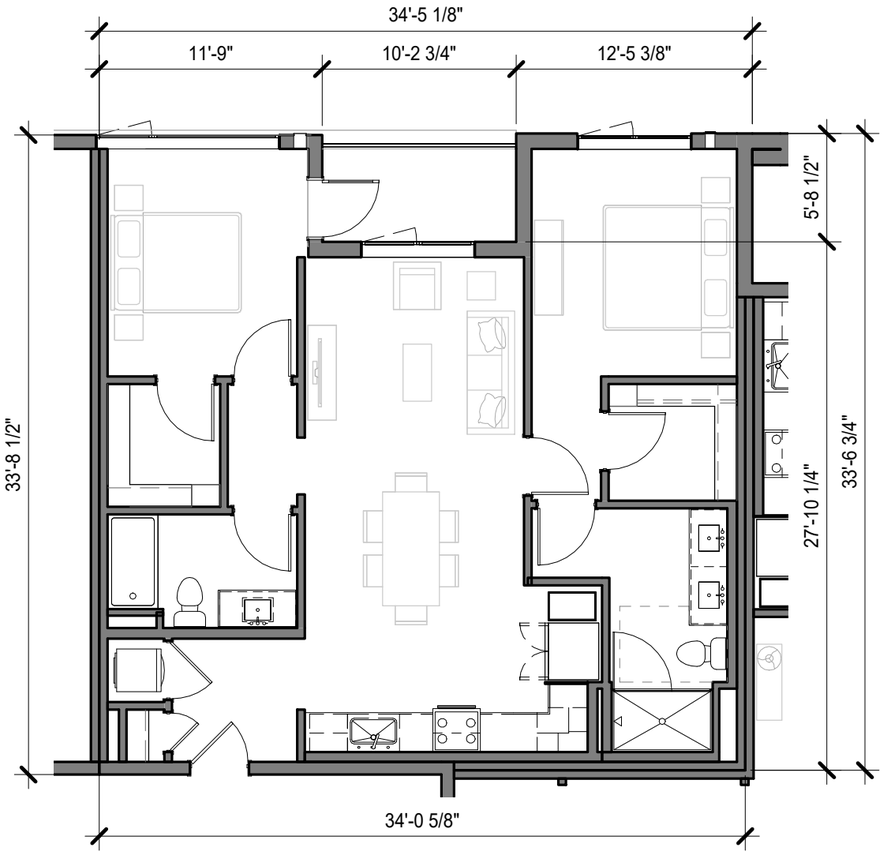
UNIT PLANS - 1 BEDROOMS

OCTOBER 6, 2023

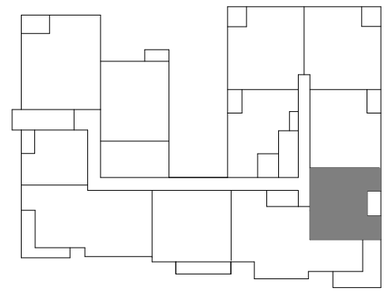


B2.0 - MTL & WOOD

FLOOR 2-7



B1.0 - MTL & WOOD



FLOOR 2-7

0' 4' 8' 16'

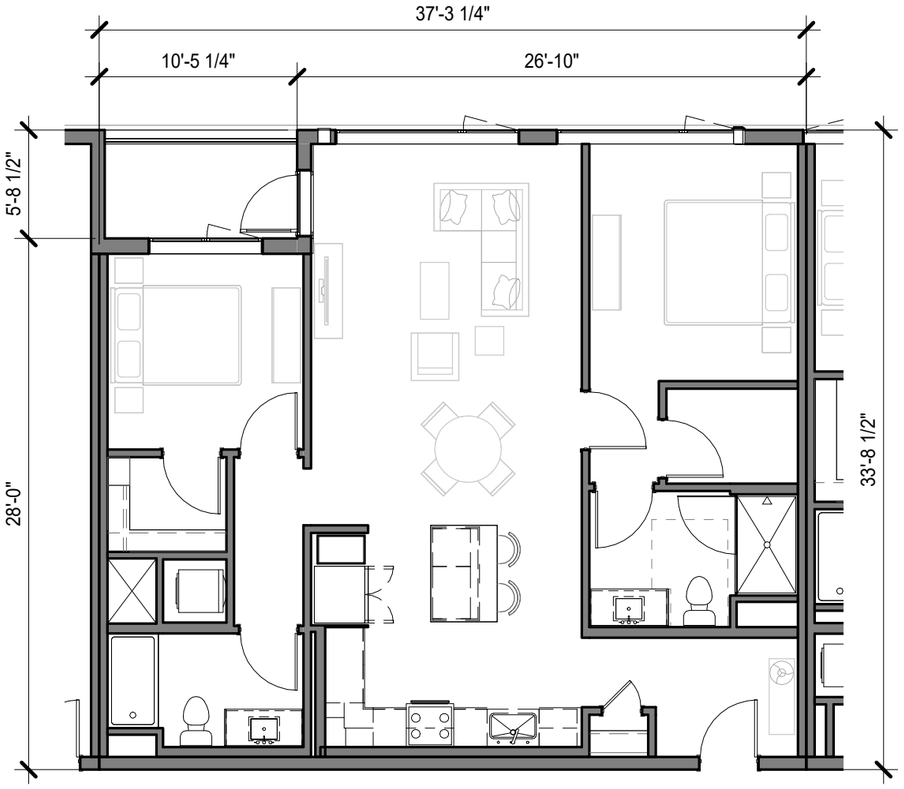
1/8"=1'

AP4.02

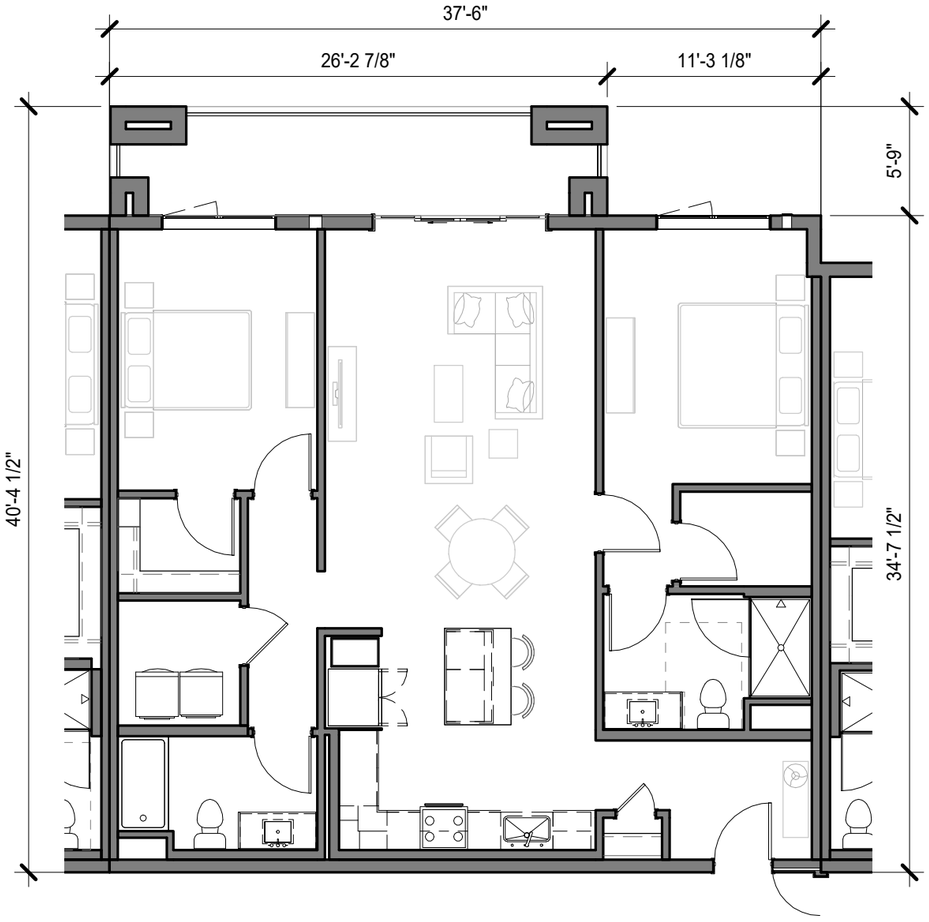
OCTANE FAYETTE

UNIT PLANS - 2 BEDROOMS

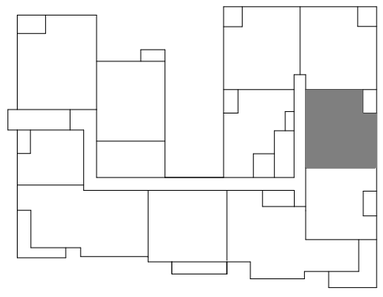
OCTOBER 6, 2023



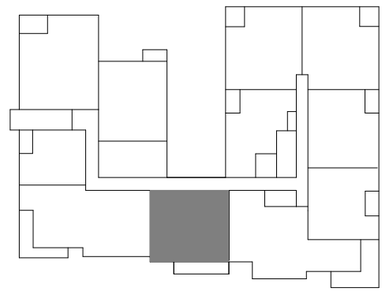
B4.0 - MTL & WOOD



B3.0 - MTL & WOOD



FLOOR 2-7



FLOOR 2-7

0' 4' 8' 16'

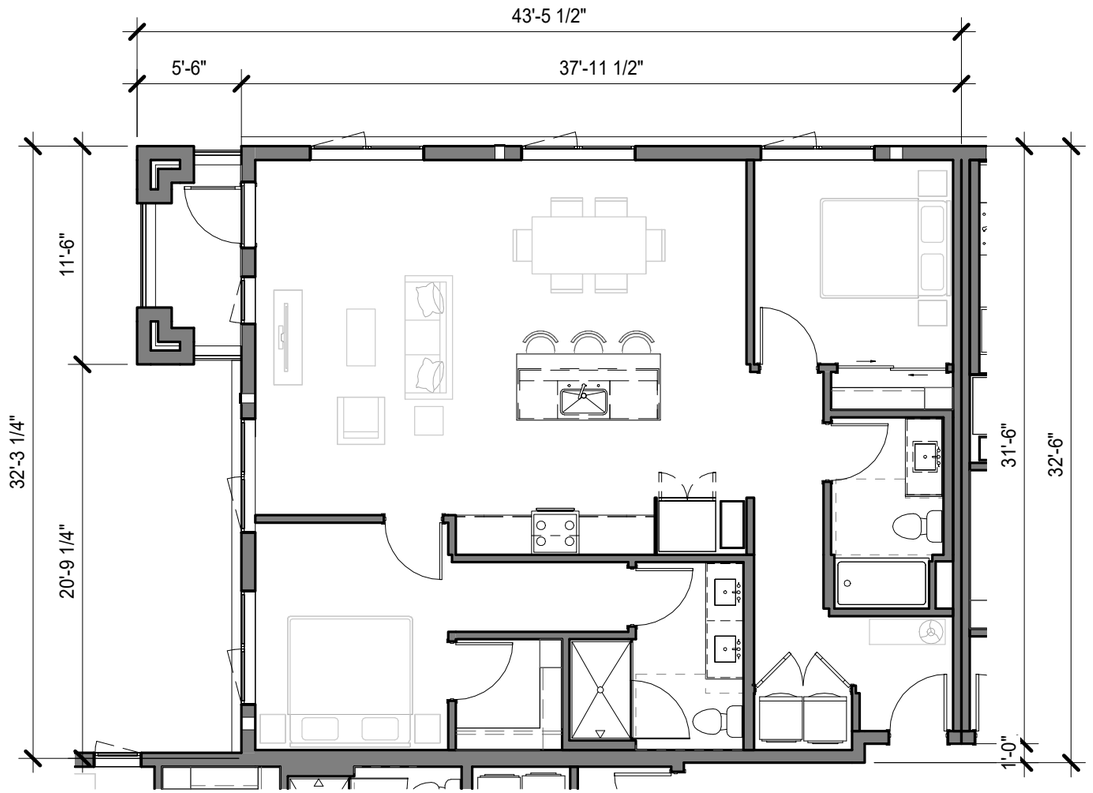
1/8"=1'

AP4.03

OCTANE FAYETTE

UNIT PLANS - 2 BEDROOMS

OCTOBER 6, 2023



B4.1 - MTL & WOOD

FLOOR 3-7

0' 4' 8' 16'

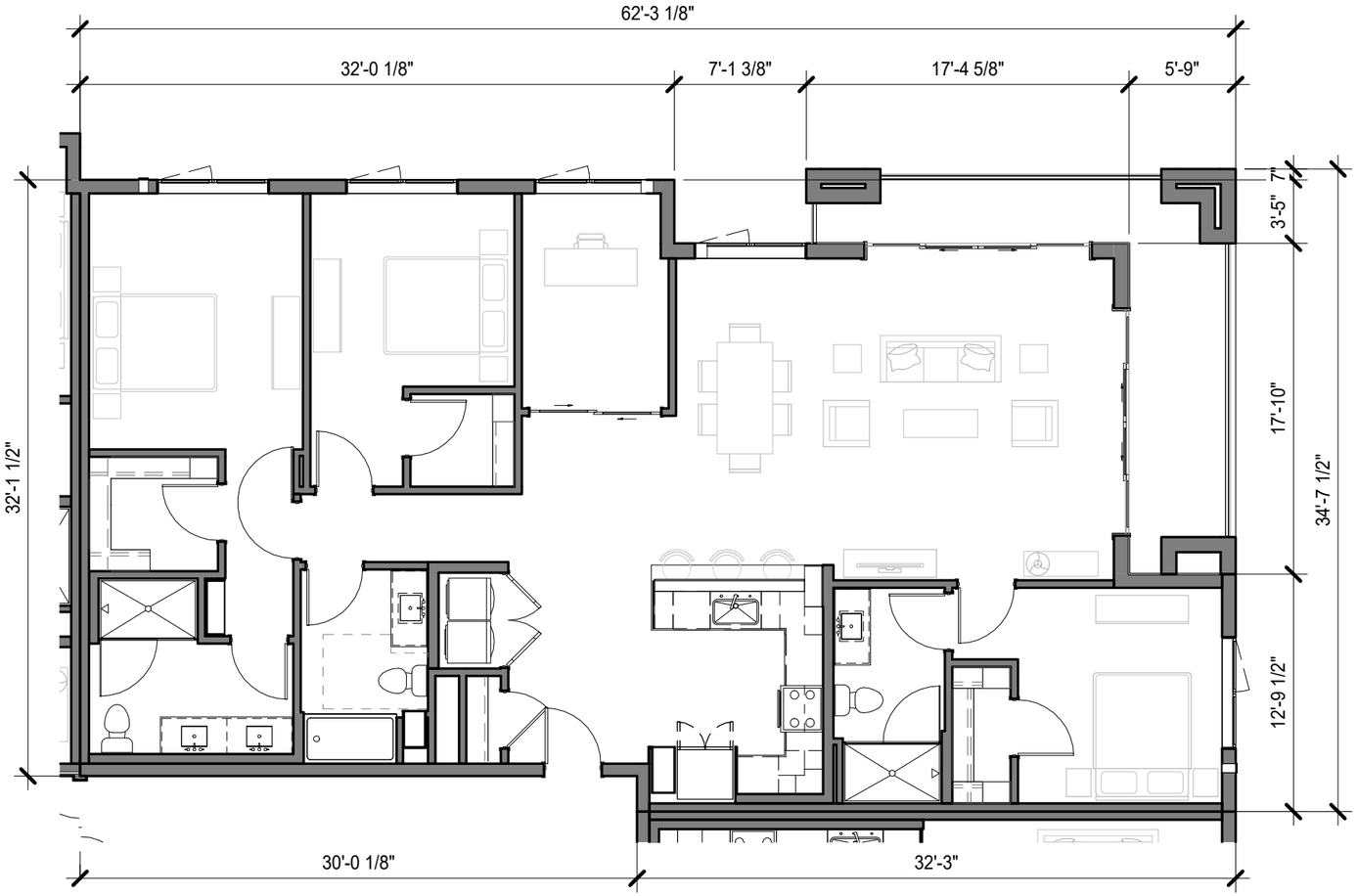
1/8"=1'

AP4.04

OCTANE FAYETTE

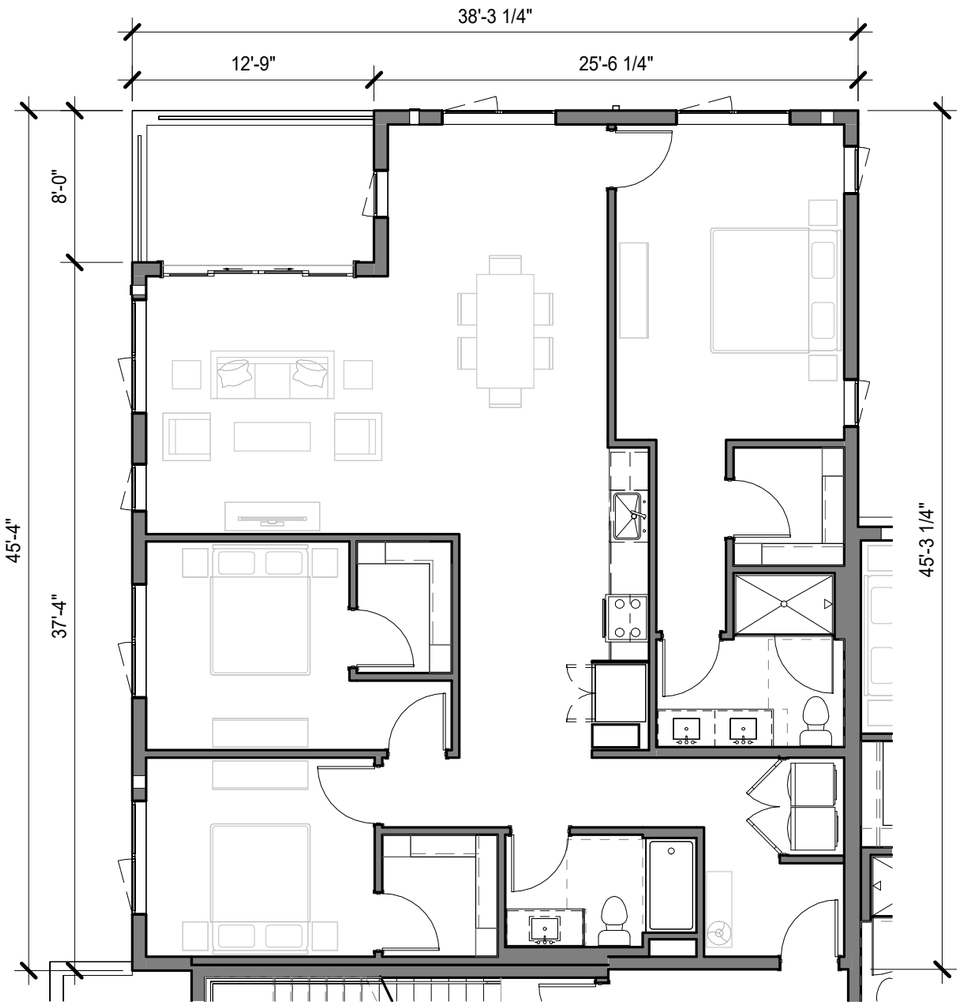
UNIT PLANS - 2 BEDROOMS

OCTOBER 6, 2023



C2.0 - MTL & WOOD

FLOOR 2-7



C1.0 - MTL & WOOD

FLOOR 2-7

0' 4' 8' 16'

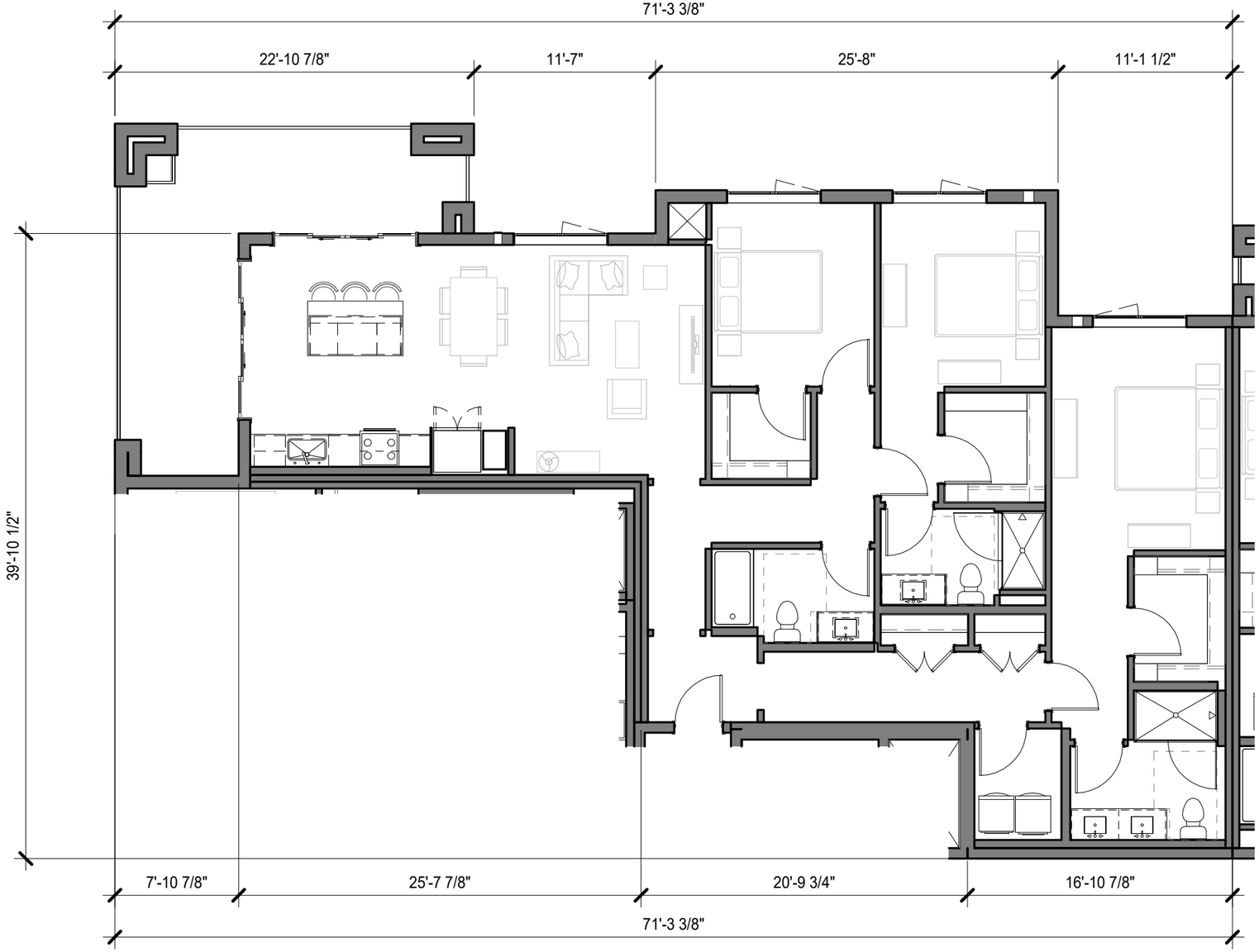
1/8"=1'

AP4.05

OCTANE FAYETTE

UNIT PLANS - 3 BEDROOMS

OCTOBER 6, 2023



C3.0 - MTL & WOOD

FLOOR 2-7

0' 4' 8' 16'

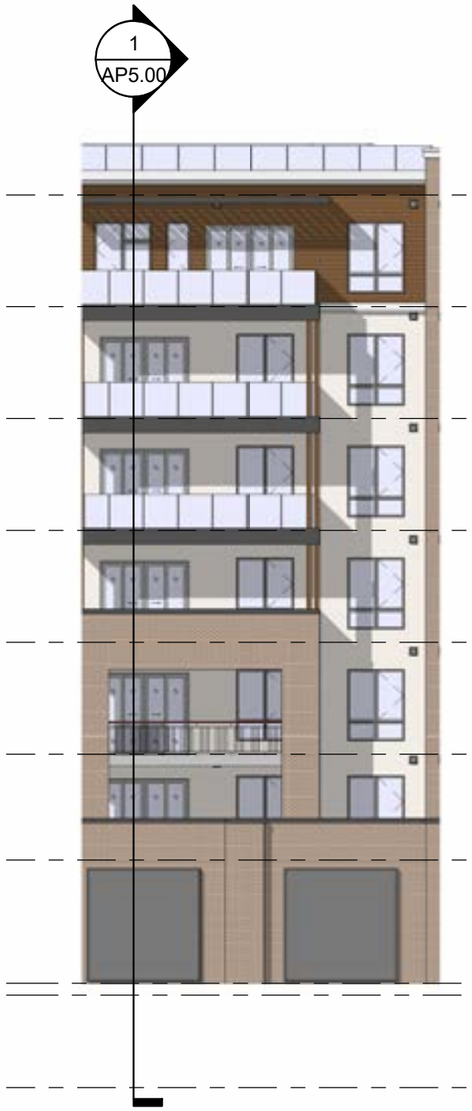
1/8"=1'

AP4.06

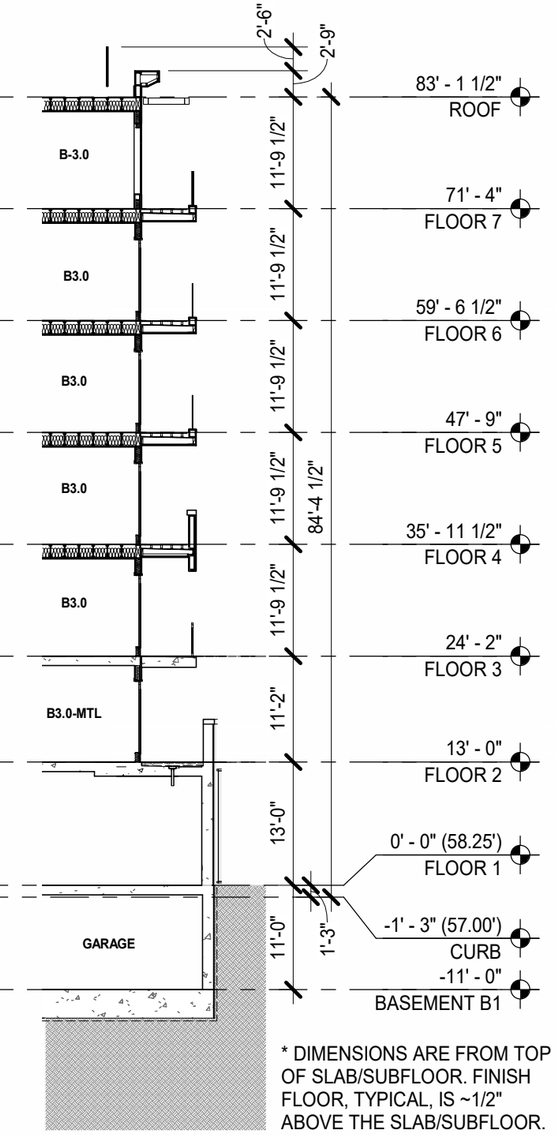
OCTANE FAYETTE

UNIT PLANS - 3 BEDROOMS

OCTOBER 6, 2023



PARTIAL SOUTH ELEVATION



* DIMENSIONS ARE FROM TOP OF SLAB/SUBFLOOR. FINISH FLOOR, TYPICAL, IS ~1/2" ABOVE THE SLAB/SUBFLOOR.

WALL SECTION AT HETCH HETCHY

0' 8' 16' 32'

1/16"=1'

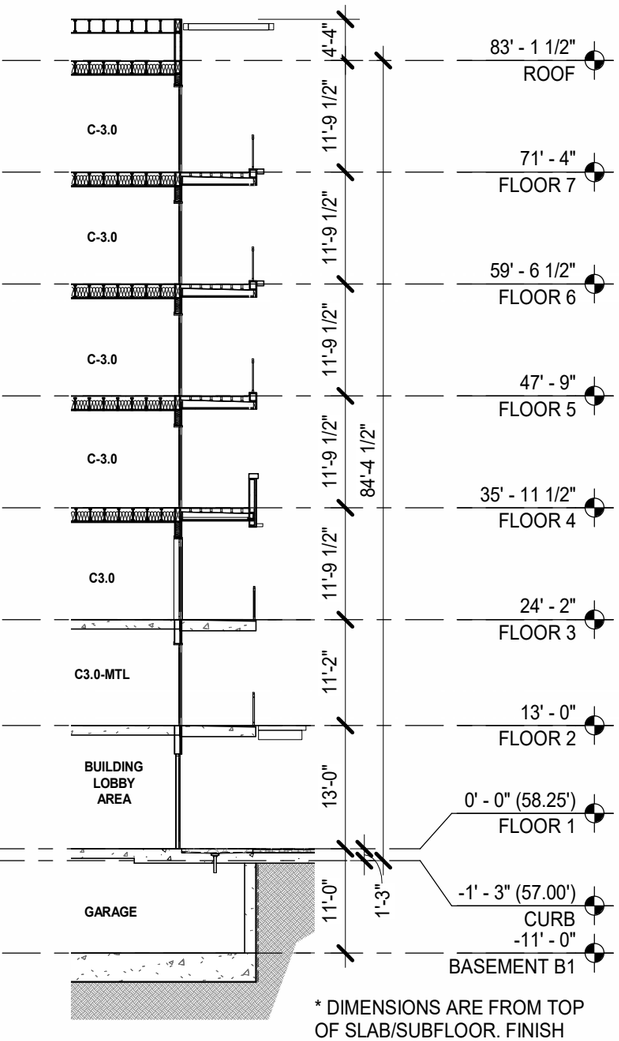
AP5.00

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

WALL SECTION - TYP@ HETCH HETCHY

OCTOBER 6, 2023



PARTIAL EAST ELEVATION

WALL SECTION AT FAYETTE

0' 10' 21' 32'

3/64"=1'

AP5.01

OCTANE FAYETTE

WALL SECTION - TYP@ FAYETTE

OCTOBER 6, 2023

Concrete walkway for building egress

Retaining wall along property line and wood slat fence mounted on top, 7' tall from FG.

MV DOMUS APARTMENTS

PROPERTY LINE

PROPERTY LINE

Access gate with Knox box for Fire Dept. access

(2) bike racks, (4) short-term parking spaces

Site Distance Triangle, typical - No visual obstructions between 3'-6' height within triangles. Tree limbs to be trimmed to a height of 6' min. within the triangle.

Street trees with root barrier, typical

City standard sidewalk (6' wide) with planter strip (3.5' wide)

Bollard lighting, typical. Refer to lighting plans.

Wave bench, typical

FAYETTE DR.

Natural stone water feature

In-ground lighting, typical. Refer to lighting plans.

Above-ground utilities to be screened with vegetation. Refer to Planting Plan, sheet L-2.1.

Accent trees, typical

PROPERTY LINE

Wood slat fence around perimeter, 7' tall. Fencing to be provided where no fencing is existing at the property line.

(2) bike racks, (4) short-term parking spaces

Entry plaza with striped accent stone paving

FAYETTE PARK

0' 10' 20' 30'

1"=20'

PROJECT NORTH

TRUE NORTH

L-1.1

OCTANE BDE ARCHITECTURE TGP KIER+WRIGHT

OCTANE - 2645 & 2655 FAYETTE DR.

SCHEMATIC SITE PLAN

October 05, 2023

L-1.2

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE - 2645 & 2655 FAYETTE DR.

SCHEMATIC PODIUM PLAN

October 05, 2023

PLANTING NOTES

THE FOLLOWING SIX (6) NOTES ARE FOR BIDDING PURPOSES ONLY

1. The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
2. Assume 15 gallon plant for any unlabelled or un-sized tree; 5 gallon plant for any unlabelled or un-sized shrub; and 4" pots @ 12" o.c. (not flats) for any unlabelled ground cover. All planting beds, except for lawns, are to receive ground cover plant installation in addition to the shrubs and trees shown on the plans.
3. The planting areas shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
4. All planting areas are to receive Super Humus Compost by BFI (408.945.2844; www.bfi.com) at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
5. Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil.
6. The General Contractor is to provide an agricultural suitability analysis for on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
7. All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
8. Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
9. All trees are to be staked as shown in the staking diagrams.
10. All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
11. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
12. The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
13. The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
14. All planting areas, except lawns and storm-water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Wonder Mulch" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
15. All street trees to be installed in accordance with the standards and specifications of the City of Mountain View. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
16. The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonsai", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonsai Double Dwarf fescue. Available through: Pacific Sod 800.542.7633
17. Trees planted in lawn areas shall have a 12" diameter cutout for trimming purposes.
18. Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
19. All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
20. The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
21. The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
22. The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
23. The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
24. Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
25. Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
26. The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
27. Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
28. Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
29. Versi-Cell drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: Tournesol Siteworks, 800.542.2282. Allow 4 weeks lead time for ordering product. All drainage board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
30. All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
31. The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of $5,000.000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the alllowance shall be returned to the Owner at the beginning of the maintenance period.

PLANTING PALETTE

KEY	SIZE	BOTANICAL NAME	COMMOM NAME	QTY	WUCOLS	CA NATIVE
TREES						
ACE JAP	36" BOX	Acer japonica	Japanese Maple	2	M	
ACE RUB	36" BOX	Acer rubrum	Red Maple	5	M	
CER OCC	24" BOX	Cercis occidentalis	Western Redbud	7	VL	Yes
LAG IND	24" BOX	Lagerstroemia indica 'Tuscarora'	Crape Myrtle	4	L	
LAU SAR	24" BOX	Laurus nobilis 'Saratoga'	Saratoga Bay Laurel	1	L	Yes
PRU SAR	24" BOX	Prunus sargentii 'Columnaris'	Columnar Cherry	8	M	
			Total Proposed Trees	**27**		

KEY	SIZE	BOTANICAL NAME	COMMOM NAME	SPACING	WUCOLS	CA NATIVE
SHRUBS						
ACC	5 gallon	Acacia cognata 'Cousin Itt'	Cousin Itt dwarf acacia	36" o.c.	L	
AGA	15 gallon	Agave parryi var. huachucensis	Huachua Agave	42" o.c.	VL	
ALY	5 gallon	Alyogyne huegelii 'Mood Indigo'	Blue Hibiscus	48" o.c.	L	
ANI	5 gallon	Anigozanthos hybrid 'Bush Red'	Kangaroo Paw	18" o.c.	L	
AHM	5 gallon	Arctostaphylos dens. 'Howard McMinn'	Howard McMinn Manzanita	48" o.c.	L	Yes
BAM	5 gallon	Bambusa m. 'Golden Goddess'	Golden Goddess Bamboo	48" o.c.	L	
CTS	5 gallon	Coprosma 'Tequila Sunrise'	Tequila Sunrise Mirror Plant	24" o.c.	L	
COP	5 gallon	Cordyline australis 'Seipin'	Cordyline Pink Passion	48" o.c.	M	
FAV	5 gallon	Fatsia japonica	Japanese aralia	36" o.c.	M	
GRE	5 gallon	Grevillea 'Superb'	Superb Grevillea	36" o.c.	L	
ILE	5 gallon	Ilex vomitoria 'Pride of Houston'	Pride of Houston yaupon holly	24" o.c.	L	
IRI	5 gallon	Iris douglasiana	Douglas Iris	36" o.c.	L	Yes
MAQ	5 gallon	Berberis aquifolium 'Compacta'	Compact Oregon Grape	36" o.c.	M	Yes
PIT	5 gallon	Pittosporum tob. 'Variegata'	Variegated Mockorange	36" o.c.	L	
POL	5 gallon	Polygala fruticosa 'Petite Butterfly'	Sweet Pea Shrub	24" o.c.	M	
RTB	5 gallon	Rosmarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary	30" o.c.	L	
SAF	5 gallon	Salvia greggii 'Purple'	Purple Autumn Sage	24" o.c.	L	
GRASSES						
BOG	1 gallon	Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass	18" o.c.	L	Yes
LOM	1 gallon	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	30" o.c.	L	
MDU	1 gallon	Muhlenbergia dubia	Pine Muhly	24" o.c.	L	
SES	1 gallon	Sesleria autumnalis	Autumn Moor Grass	18" o.c.	M	
GROUNDCOVERS						
CUR	4" pot	Curio rowleyanus	String-of-pearls	4" o.c.	L	
EEG	4" pot	Echeveria elegans	White Mexican Rose	12" o.c.	L	
ECP	4" pot	Echeveria shaviana 'Pink Frills'	pink frills echeveria	12" o.c.	L	
EK	1 gallon	Erigeron karvinskianus	Santa Barbara daisy	24" o.c.	L	
MPC	1 gallon	Myoporum parvifolium	Creeping Myoporum	36" o.c.	L	
OSD	4" pot	Oscularia deltoides	Deltoid-leaved Dewplant	12" o.c.	L	
OXZ	4" pot	Oxalis vulcanicola 'Zinfandel'	Volcanic Sorrel	18" o.c.	L	
SA	1 gallon	Sedum album	White Stonecrop	6" o.c.	L	
SR	1 gallon	Sedum reflexum	Reflexum Stonecrop	6" o.c.	L	
VINES						
HV	5 gallon	Hardenbergia v. 'Happy Wanderer'	Purple Lilac Vine	Per Plan	M	

NOTES:
1. WUCOLS value (Water Use Classification of Landscape Species) per WUCOLS IV, 2014 edition.
2. Plants selected for suitability to Western Climate Zone 15.

PLANT SPACING DIAGRAM

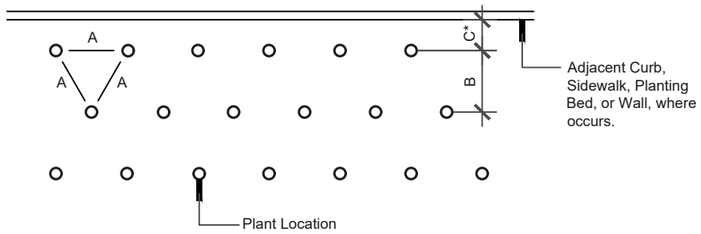
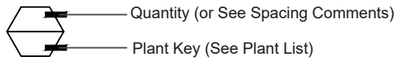


Diagram for use when plants are spaced equidistant from each other, including all groundcover plantings and massed shrub plantings.

PLANT CALLOUT SYMBOL

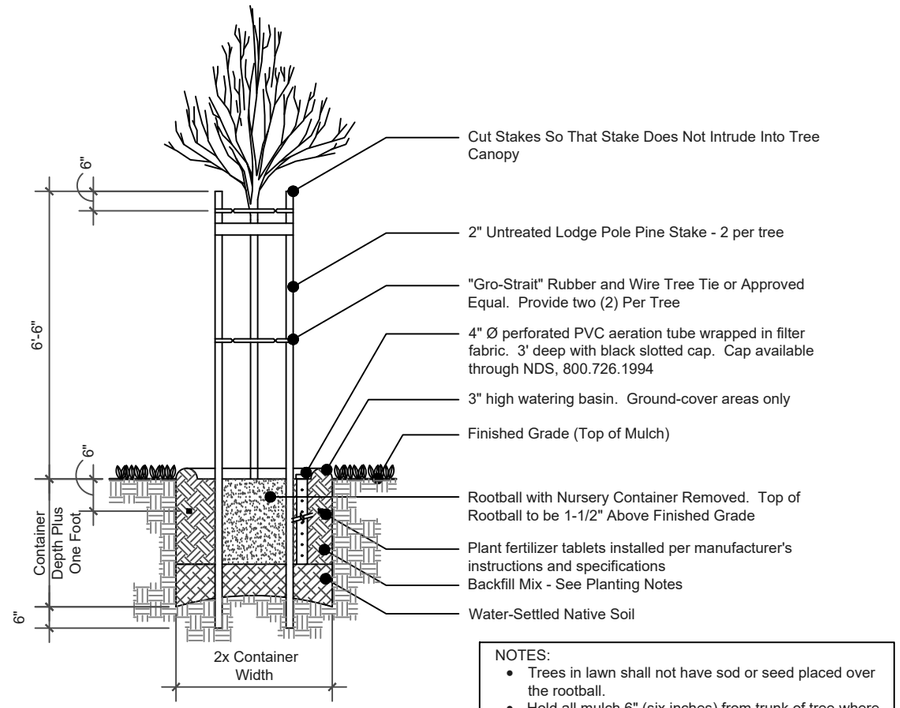


PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	PLANTS PER SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.79"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

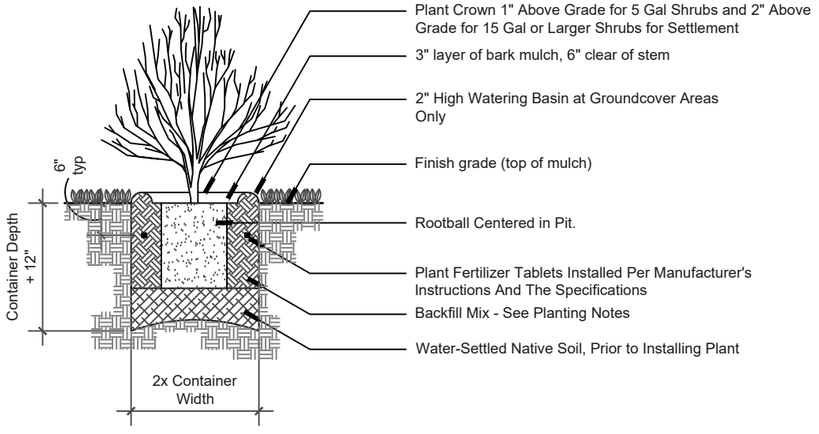
* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C = B/2.



NOTES:
- Trees in lawn shall not have sod or seed placed over the rootball.
- Hold all mulch 6" (six inches) from trunk of tree where mulch is applied over rootball.

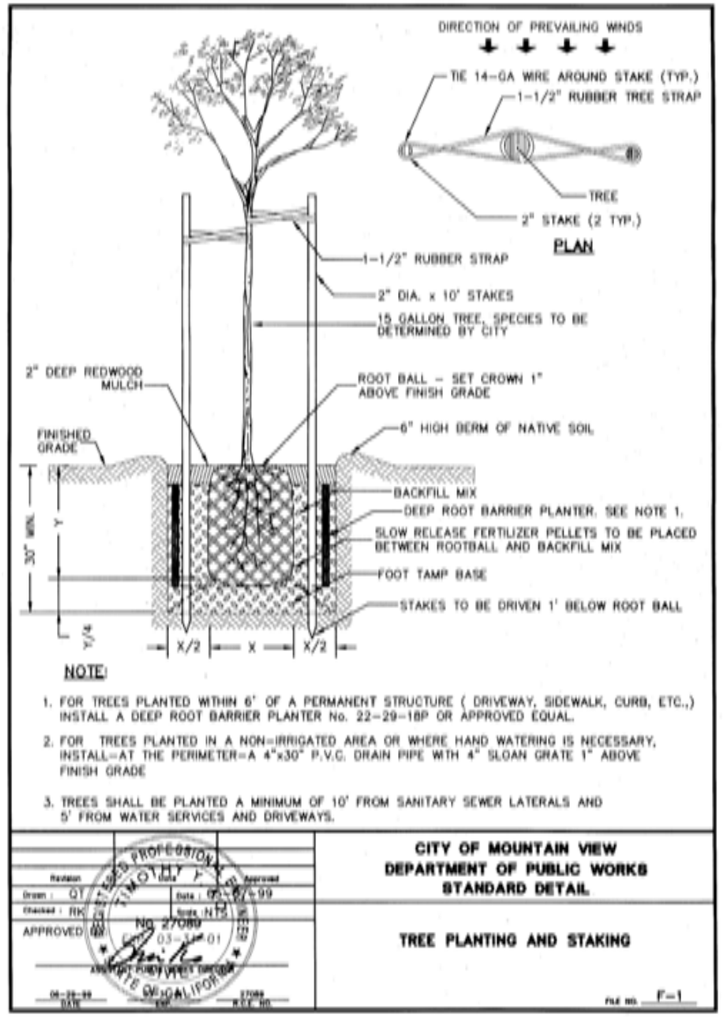
Tree Staking Diagram

NTS



Shrub Planting Detail

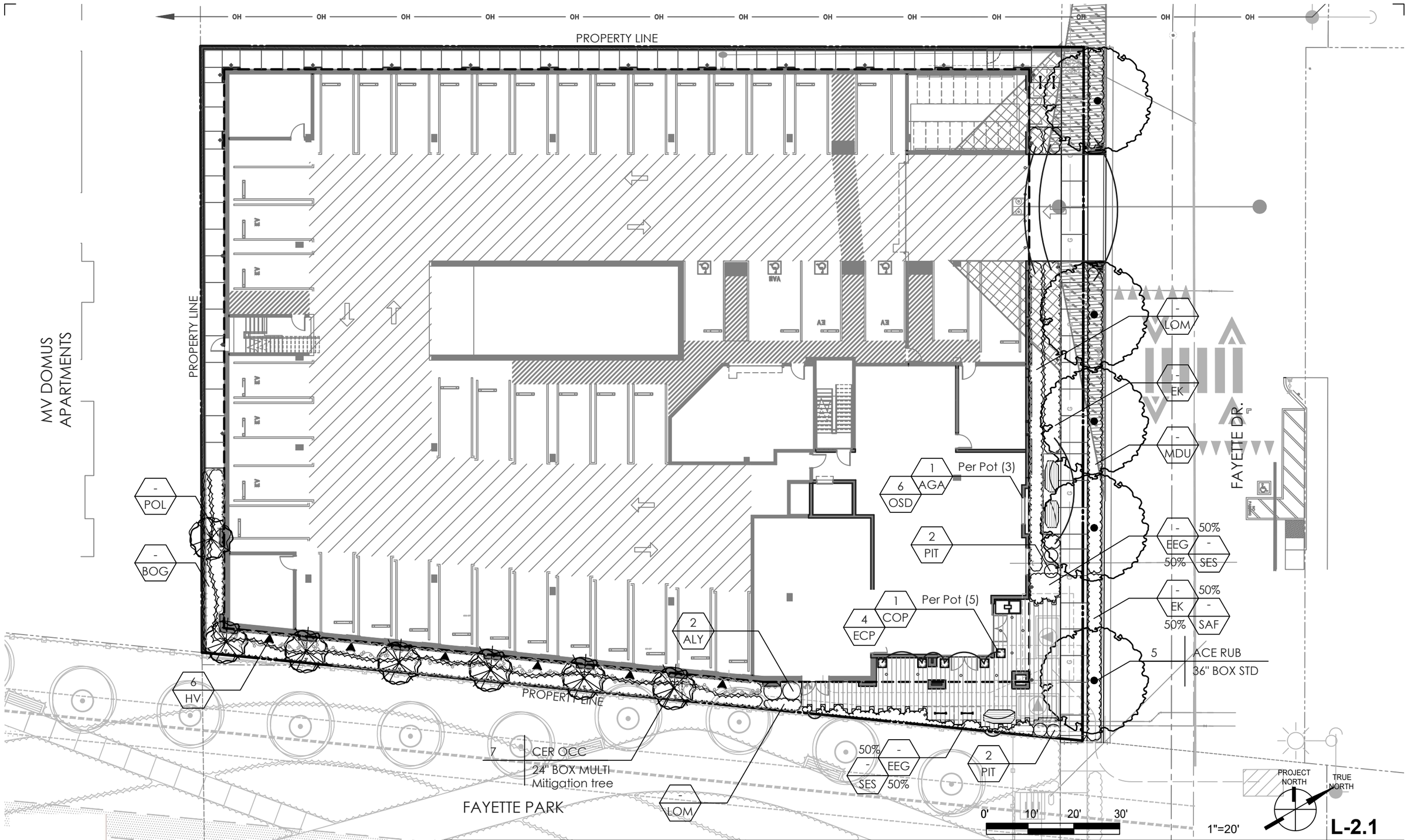
NTS



OCTANE - 2645 & 2655 FAYETTE DR.

PLANTING DETAILS

October 05, 2023



L-2.1

OCTANE - 2645 & 2655 FAYETTE DR.

SCHEMATIC PLANTING PLAN - SITE

October 05, 2023

1 LAU SAR
24" BOX STD
Mitigation tree

4 LAG IND
24" BOX STD
Mitigation tree

2 ACE JAP
36" BOX MULTI
Mitigation tree

4 PRU SAR
24" BOX STD
Mitigation tree

4 PRU SAR
24" BOX STD

5 BAM
- RTB
- LOM
- ACC
- ECP
1 GRE
2 GRE
- RTB
- LOM
3 EEG
1 COR
3 CUR
Per Pot (7)
3 EEG
1 COR
3 CUR
Per Pot (7)
1 GRE
1 CTS
4 OXZ
Per Pot (9)
24 PIT
- ANI
- ACC
- MAQ
4 FAV
- ACC

0' 10' 20' 30'

1"=20'

PROJECT NORTH
TRUE NORTH

L-2.2

OCTANE - 2645 & 2655 FAYETTE DR.

SCHEMATIC PLANTING PLAN - PODIUM

October 05, 2023

IRRIGATION NOTES

1. All planting areas are to be irrigated with an approved automatic underground irrigation system, utilizing a dedicated irrigation water meter, backflow devices, point source irrigation emitters, in accordance with the City of Mountain View Landscape Outdoor Water Use Efficiency Checklist. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.
2. An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.
3. Irrigation Controllers shall use weather sensing technology to automatically adjust the irrigation system operation in response to real-time landscape planting demands and daily changes in weather conditions.
4. Irrigation Valves shall be aligned with planting types, sun exposure and soil conditions to allow for efficient use of irrigation water in accordance with plant material irrigation requirements, as reflected in the Hydrozone requirements.
5. Landscape Trees, Shrubs, Groundcovers have been selected to include Native California Plants, and Mediterranean Climate drought tolerant plant species for the project.
6. Landscape and Irrigation Plans, with a Project Compliance Checklist, will be submitted with the Building Permit Application, which will document the landscape and planting design specifications in compliance with the City Ordinances.
7. The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipments, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.
8. Irrigation system shall be designed to avoid overspray and runoff.
9. Each irrigation valve waters only one type of hydrozone.
10. Irrigation system shall be designed in accordance with local water efficient landscape ordinance.
11. Dedicated irrigation system water meter shall connect to a looped irrigation system supplyline.
12. Low precipitation rate irrigation spray heads shall be used wherever planting material and water efficient landscape ordinance will allow.
13. High efficiency drip irrigation shall be used wherever practicle within groundcover and shrub areas.
14. Dedicated irrigation zones for trees shall be designed with bubbler irrigation.
15. Valve box locations shall be in groundcover areas wherever possible.

PROPOSED EQUIPMENT LIST

DOMESTIC WATER METER–2"	–BY OTHER SECTION OF CONTRACT	
IRRIGATION BACKFLOW PREVENTION DEVICE	–WILKINS–975–XLU–2"	
MASTER CONTROL VALVE	–TORO–220–27–09 –2"	
FLOW SENSOR	–DATA INDUSTRIAL–P220–1"	
FERTIGATION SYSTEM (20 GALLON)	–EZ–FLO–EZ20	
ELECTRIC CONTROLLER ASSEMBLIES	–BASELINE 3200 X–CABINET	
REMOTE CONTROL VALVES	–TORO–P220 SERIES	
DRIP REMOTE CONTROL VALVES	–TORO–P220 SERIES WITH DRIP CONTROL ASSEMBLY	
QUICK COUPLING VALVES	–RAINBIRD–33DRC	
GATE VALVES –LINE SIZE	–SEE DETAIL	
DIGITAL SOIL MOISTURE SENSOR	–BASELINE–BL BISENSOR	
RAIN SENSOR	–TORO–TRS	
FLUSH VALVE	–SEE DETAIL	
PLANTER POT IRRIGATION	–SEE DETAIL	
TREE BUBBLERS	–TORO–FB–100–PC	
IRRIGATION SUPPLYLINE –DOMESTIC SYSTEM	–1120/SCHEDULE 40 PVC PIPE	–24" COVER
IRRIGATION SPRINKLERLINE	–1120/SCHEDULE 40 PVC PIPE	–12" COVER
ELECTRICAL CONDUIT–SIZE AS INDICATED	–1120/SCHEDULE 40 PVC PIPE	–24" COVER
SLEEVING–SIZE AS INDICATED	–1120/SCHEDULE 40 PVC PIPE	–24" COVER
IRRIGATION SUBSURFACE EMITTERLINE	–NETAFIM–TLCV4–12	–4" COVER

IRRIGATION PERFORMANCE SPECIFICATIONS

The contractor shall include in their bid a proposal to install individual landscape irrigation systems for the street frontage. All proposals shall meet the requirements of the outline specifications below:

1. Planting Areas and Method of Irrigation

a. Lawn Areas - Lawn areas shall be irrigated with small turf spray sprinklers having a radius capacity of 12' to 15' and a 4" pop-up height. (Rainbird 1800 series.)
b. Shrub Areas - Shrub areas shall be irrigated with drip emitters (one per shrub, two per tree).

2. Irrigation Equipment

a. Point of Connection: A gate valve shall be provided under work of another section. Irrigation demand is not to exceed sixty (60) gallons per minute. Required pressure is 60 P.S.I. or more.
b. Remote Control Valves: An electrically activated solenoid control valve shall control each circuit of sprinklers. Size will vary according to gpm demand of circuit. Sizes to be 3/4" through 2". Valves shall be Rainbird ECV series, anti-siphon valves Valve shall be housed in a plastic valve box set flush with grade. Pea gravel shall be installed below valve, 6" deep. Four bricks shall support the plastic valve box at the base of the box, below grade. Solenoid control wire shall be spliced using epoxy-filled waterproof splice packs.
c. Controller and Wire: A solid-state controller shall control the operation of the irrigation system. The controller shall be 'Hydro Rain HR 600.' be mounted outdoors on the garage wall. The housing shall be weatherproof. Each controller station will require an underground AWG-UF 14-1 control wire to the valve location. A common wire AWG-UF 12-1 shall be connected to all valves related to a single controller.
d. Pipe and Fittings
i. Main line (constant pressure): 2" and smaller pipe shall be plastic PVC 1120 Schedule 40 with plastic PVC Schedule 40 solvent weld fittings, buried 18" deep.
ii. Lateral lines (non-constant pressure) to sprinklers: Pipe shall be plastic PVC 1120-200 PSI with plastic Schedule 40 solvent weld fittings, buried 12" deep.
e. Sleeving: All pipe under paving shall be housed in a PVC plastic pipe sleeve. Sleeving material shall be 1120-200 P.S.I. PVC plastic pipe of size adequate to accommodate necessary pipes and wiring. Sleeves shall extend beyond walk, curb, or edge of paving. Sleeves shall be installed by concrete subcontractor.
f. Wye Strainer: Wye strainer shall be of plastic construction with 150 mesh PVC screen. Strainer shall be placed in a valve box below grade and connected into the lateral line downstream of the drip irrigation remote control valves.
g. Trim all spray heads to eliminate overspray onto walks and building. This performance specification is intended as a brief description of the methods of irrigation to be applied to this project. This specification is not intended as a construction document.

CITY OF MOUNTAIN VIEW

WATER BUDGET CALCULATION WORKSHEET - ELECTRONIC

[1]

Project Site Address:

Please Note: A Water Budget Calculation Worksheet is required ONLY if:

(1) High-water-use plants are included in the landscaped area, and/or
(2) Less than 80% of the landscape area is planted with California Native and/or low-water-use plants

SECTION A. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

Table A-1. Hydrozone Area Information

[2] Enter Data Here | [3] Enter Data Here | [4] Enter Data Here | [5] Enter Data Here

Hydrozone Label	Plant Water Use Type	Plant Type	Hydrozone Area *(square feet)*
Low water areas	Low	Ornamental Planting	2,722
Moderate water areas	Mixed (Mod / Low)	Ornamental Planting	722
Water Feature	High (Water Feature)	Water Feature	20
Spa	High (Water Feature)	Spa	180

[6]

Summary of Hydrozone Area Information

Summary Area	Area *(square feet)*
Sum of Low-Water-Use Areas	2,722
Sum of Moderate & Mixed-Water-Use Areas	722
Sum of High-Water-Use Areas	200
Sum of Special Landscape Areas	0
Sum of all Landscape Areas	3,644

[7]

Maximum Applied Water Allowance = 43,717 **gallons per year.**

SECTION B. ESTIMATED TOTAL WATER USE (ETWU)

Table B-1. Plant Factor and Irrigation System Information

[1] [1] [1] [2] [1] [3] Enter Data Here [4]

Hydrozone Label	Plant Water Use Type	Plant Type	Plant Factor (PF)	Hydrozone Area (HA) square feet	Irrigation Method	Irrigation Efficiency (IE)	ETWU *(gal/yr)*
Low water areas	Low	Ornamental Plantin	0.3	2,722	Drip	0.81	26,877
Moderate water are	Mixed (Mod / Low)	Ornamental Plantin	0.5	722	Drip	0.81	11,882
Water Feature	High (Water Feature)	Water Feature	0.8	20	Spray	0.75	427
Spa	High (Water Feature)	Spa	0.8	180	Spray	0.75	3,839

[5]

Hydrozone areas, irrigation methods and efficiencies are entered where required: **OK**

[6]

Estimated Total Water Use = **43,025** **gallons/year**

[7]

SECTION C. COMPARISON OF ETWU AND MAWA

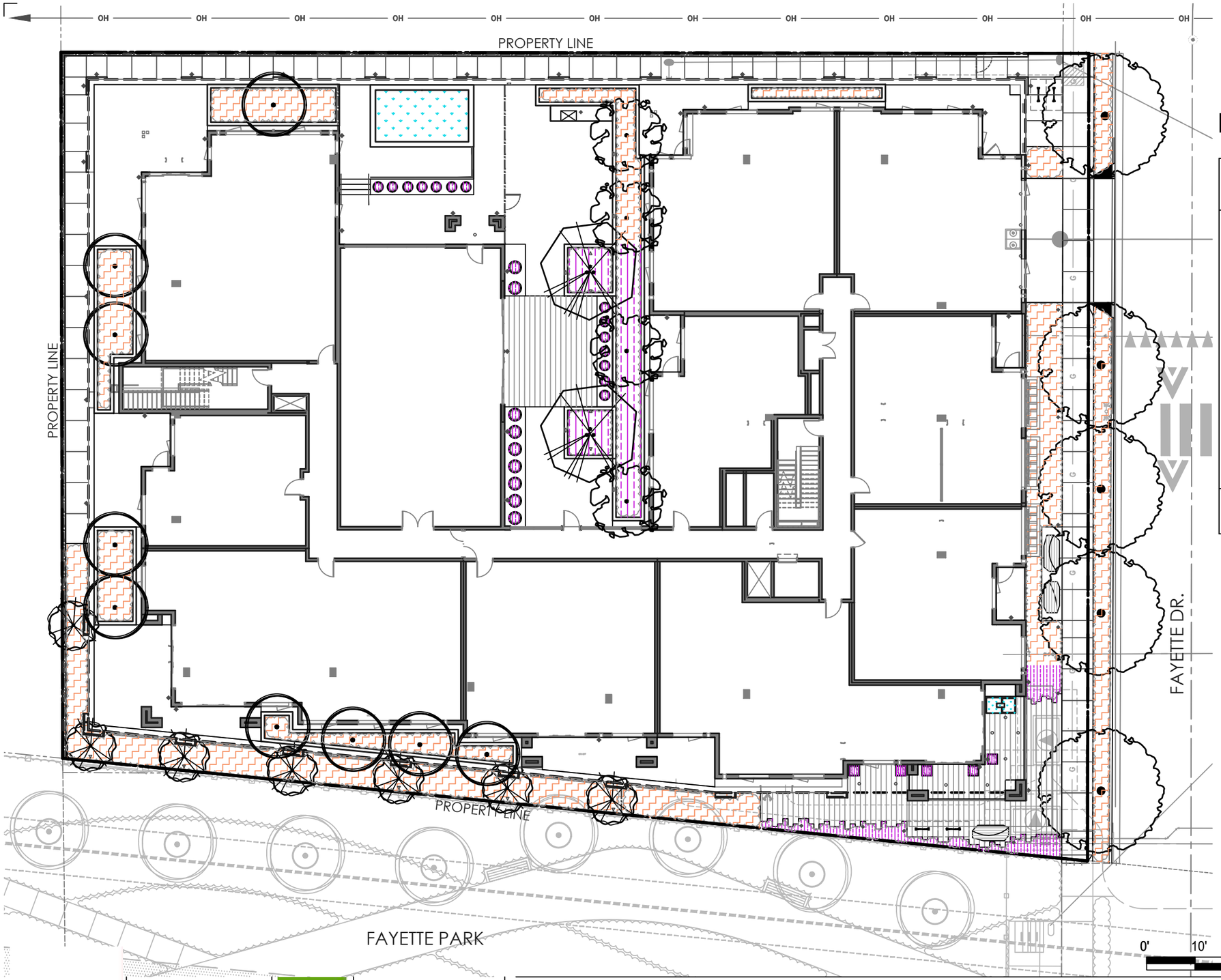
The calculated ETWU may not exceed the calculated MAWA.

MAWA= **43,717** *[from Section A]* ≥ **ETWU =** **43,025** *[from Section B]*

[8]

Congratulations! Your electronic Water Budget Calculation Worksheet is complete.

Please print Sections A, B & C and submit them with your application.



HYDROZONE LEGEND

KEY	WUCOLS Category	AREA (sf) SITE + PODIUM
	Very Low Water Use	0 SF
	Low Water Use	2,722 SF
	Medium Water Use	722 SF
	High Water Use	0 SF
	Special Landscape Area	200 SF
	Total Landscape Area	3,644 SF

PROJECT NORTH
TRUE NORTH

1"=20'

L-3.1

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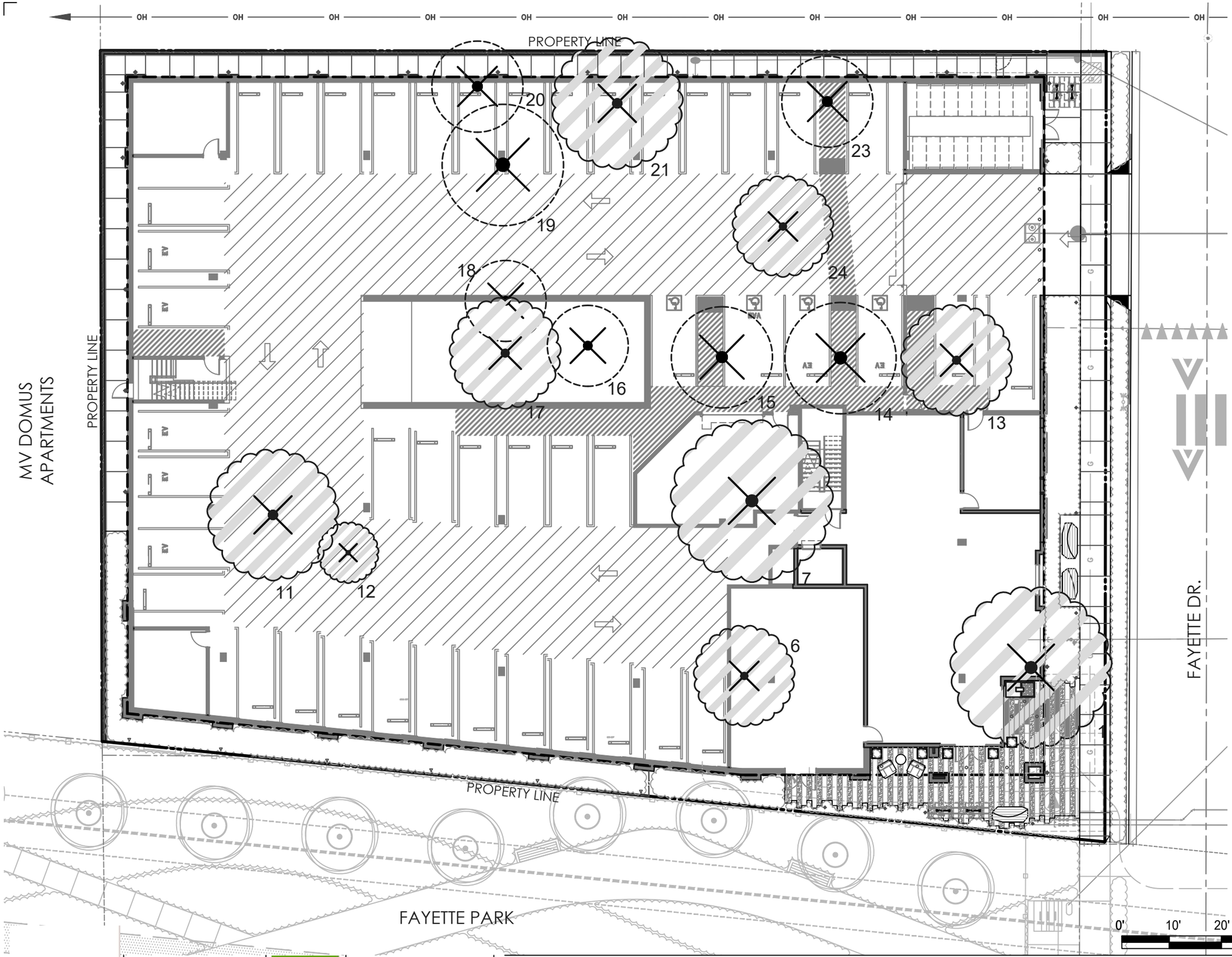
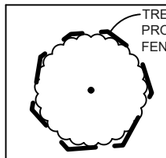
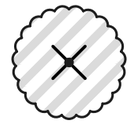
HYDROZONE PLAN

October 05, 2023



TREE DISPOSITION LEGEND

KEY	TYPE	QTY
	EXISTING TREE TO REMAIN	0
	EXISTING HERITAGE TREE TO BE REMOVED	9
	EXISTING TREE TO BE REMOVED	7

REPLACEMENT RATIO:

	9	HERITAGE TREES REMOVED
x	2	2:1 MITIGATION RATIO
=	**18**	REPLACEMENT TREES REQUIRED
	7	NON-HERITAGE TREES REMOVED
x	1	1:1 MITIGATION RATIO
=	**7**	REPLACEMENT TREES REQUIRED
	25	TOTAL REPLACEMENT TREES REQUIRED
	27	REPLACEMENT TREES PROPOSED

Note:
Refer to Planting Palette, sheet L-2.00, and Planting Plan, sheets L-2.1 and L-2.2, for tree mitigation quantities and location.

0' 10' 20' 30'

1"=20'

PROJECT NORTH

TRUE NORTH

L-4.1

OCTANE 3DE ARCHITECTURE TGP

OCTANE - 2645 & 2655 FAYETTE DR.

TREE DISPOSITION PLAN

October 05, 2023

TREE SURVEY DATA

Address: 2645/2655 Fayette Dr Mountain View, CA 94040
Inspection Date: 8/3/2023

Ratings for health and structure are given separately for each tree according to the table below. IE, a tree may be rated "Good" under the health column For excellent, vigorous appearance and growth, while the same tree may be rated "Fair, Poor" in the structure column if structural mitigation is needed.

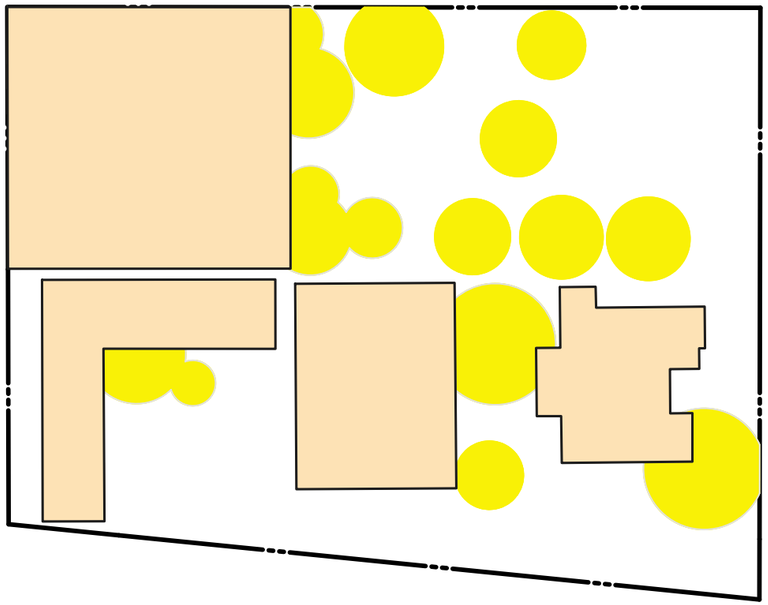
KEY	Health	Structure
Good-G	excellent, vigorous	flawless
Fair - Good-FG	no significant health concerns	very stable
Fair-F	declining; measures should be taken to improve health and appearance	routine maintenance needed
Fair - Poor-FP	in decline: significant health issues	mitigation needed, it may or may not preserve this tree
Poor-P	dead or near dead	hazard

TAG NO.	COMMON NAME	DIAMETER AT BREAST HEIGHT"	H'/W'	HEALTH	STRUCTURE	PROTECTED (X)	TREE DISPOSITION	NOTES, RECOMMENDATIONS
1	Douglas Fir	29	72'/35'	FP	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
2	removed							removed prior to my inspection on 8/3/2023
3	removed							removed prior to my inspection on 8/3/2023
4	removed							removed prior to my inspection on 8/3/2023
5	removed							removed prior to my inspection on 8/3/2023
6	Canary Island Palm	29	40'/18'	F	FP	x	D	RR, removal due to construction limits, tree will not survive construction impacts
7	Coast redwood	58	95'/45'	FG	FG	x	D	RR, removal due to construction limits, tree will not survive construction impacts
8	removed							removed prior to my inspection on 8/3/2023
9	removed							removed prior to my inspection on 8/3/2023
10	removed							removed prior to my inspection on 8/3/2023
11	Coast Live Oak	27	40'/45'	FG	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
12	Mexican Fan Palm	25	65'/12'	F	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
13	White Mulberry	15	38'/40'	F	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
14	White Mulberry	12	30'/30'	F	F		D	RR, removal due to construction limits, tree will not survive construction impacts
15	White Mulberry	13	35'/28'	fp	F		D	RR, removal due to construction limits, tree will not survive construction impacts
16	White Mulberry	13	40'/25'	fp	F		D	RR, removal due to construction limits, tree will not survive construction impacts
17	White Mulberry	18	42'/35'	F	FP	x	D	RR, removal due to construction limits, tree will not survive construction impacts
18	White Mulberry	9	40'/25'	F	F		D	RR, removal due to construction limits, tree will not survive construction impacts
19	White Mulberry	13	40'/30'	F	F		D	RR, removal due to construction limits, tree will not survive construction impacts
20	White Mulberry	10	40'/28'	F	F		D	RR, removal due to construction limits, tree will not survive construction impacts
21	White Mulberry	17	38'/30'	FP	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
22	removed							removed prior to my inspection on 8/3/2023
23	White Mulberry	14	35'/30'	F	F		D	RR, removal due to construction limits, tree will not survive construction impacts
24	Canary Island Palm	27	40'/22'	F	F	x	D	RR, removal due to construction limits, tree will not survive construction impacts
25	removed							removed prior to my inspection on 8/3/2023

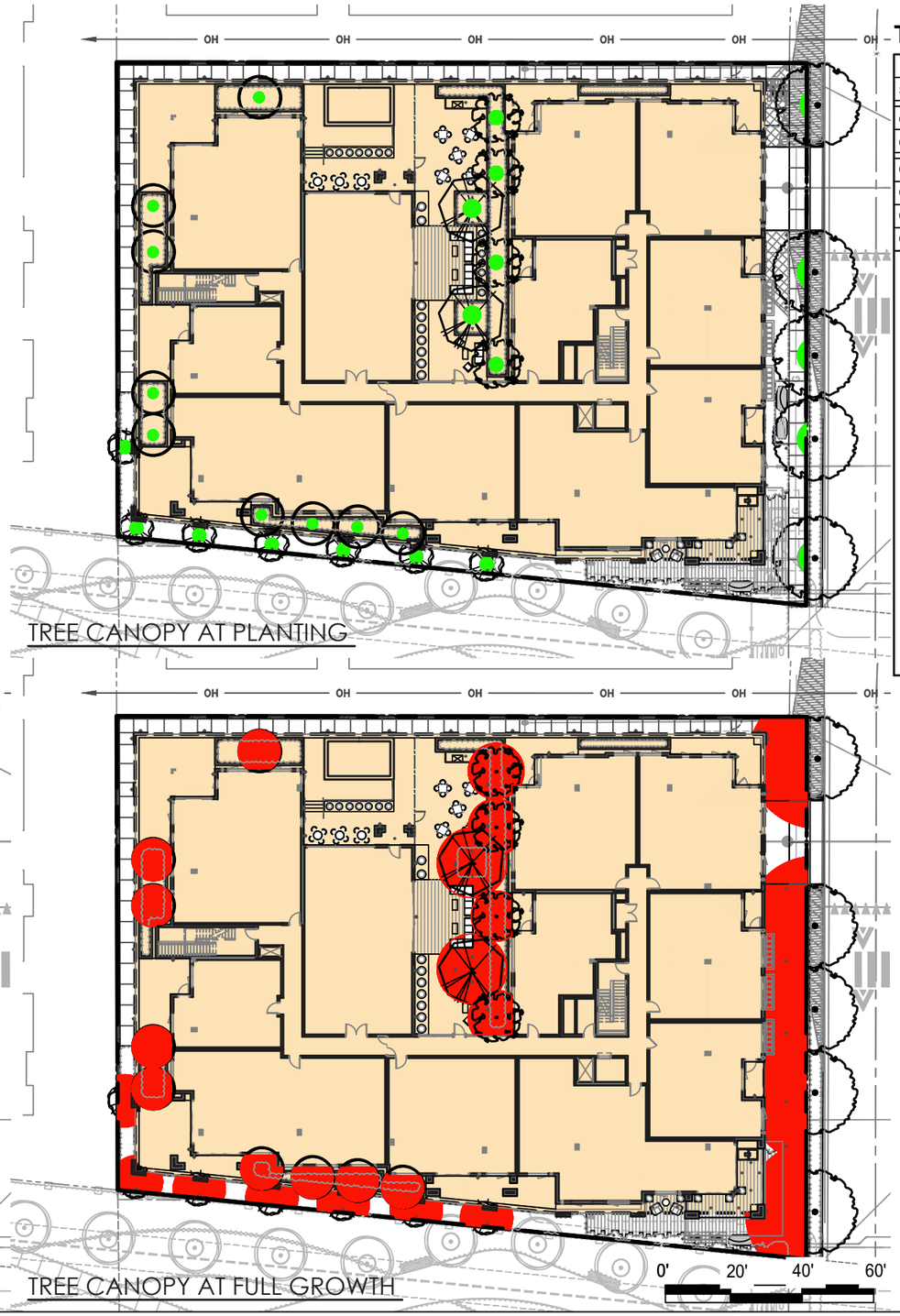
A = Retain, condition warrants long-term preservation	0
B = Preservable, tree is a benefit and may be worthy of extensive effort or design accommodation.	0
C = May be preservable but is not worthy of extensive effort or design accommodation.	0
D= Recommend removal due to existing condition and/or structure/construction limits	16
TOTAL TREES	16
PROTECTED TOTAL	9

KEY TO ACRONYMS

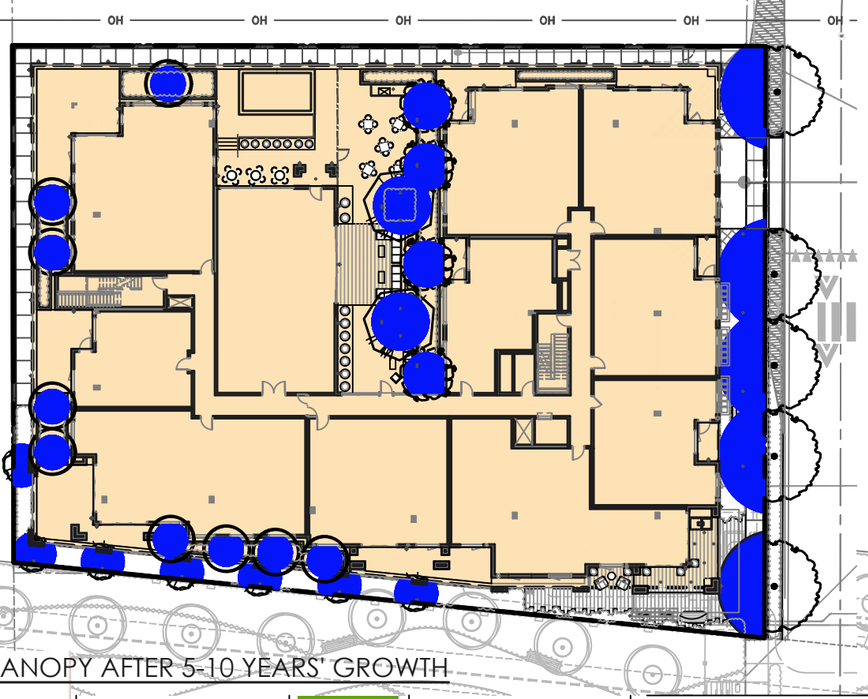
DWR - Dead Wood Removal pruning recommended.
EWR - End Weight Reduction: pruning to remove weight from limb ends, thus reducing the potential for limb failure(s).
RCE - Root Collar Excavation: excavating a small area around a tree that is currently buried by soil or refuse above buttress roots, usually done with a hand shovel.
SP - Structural pruning - removal of selected non-dominant leaders in order to balance the tree.
CD - Codominant Leader, two leaders with a narrow angle of attachement and prone to failure.
LCR-Live Crown Ratio.
RR - Recommend Tree Removal based upon Health or Structure of tree.
Prop - Steel prop in concrete footing recommended to help support a tree/limb.
Cable - Recommend a steel cable(s) be installed to help support a weakly attached limb(s).



TREE CANOPY OF EXISTING SITE



TREE CANOPY AT PLANTING

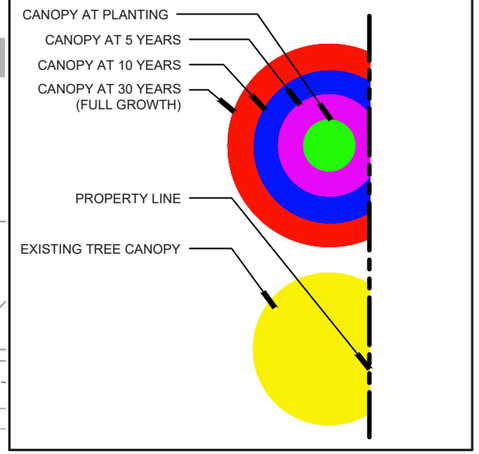


TREE CANOPY AFTER 5-10 YEARS' GROWTH

TREE CANOPY AT FULL GROWTH

TREE CANOPY TABLE AND LEGEND

CATEGORY	AREA (SF)	% SITE
SITE AREA	29,046	100%
CANOPY AT EXISTING TO REMOVE	5,104	17.6%
CANOPY AT EXISTING TO REMAIN	0	0.0%
CANOPY AT PLANTING	301	1.0%
CANOPY AT 5 YEARS	1,408	4.8%
CANOPY AT 10 YEARS	3,053	10.5%
CANOPY AT FULL GROWTH	4,507	15.5%



0' 20' 40' 60'

1"=40'

PROJECT NORTH

TRUE NORTH

L-5.1

OCTANE - 2645 & 2655 FAYETTE DR.

TREE CANOPY STUDY

October 05, 2023

Acer palmatum
(Japanese Maple)

Cercis occidentalis
(Western Redbud)

BBQ Island and Community Table

Planter Pots

Entry Fountain

Entry Fountain

Acer rubrum
(Red Maple)

Prunus sargentii 'Columnus'
(Columnar Sargent Cherry

Laurus nobilis
(Saratoga Laurel)

Good Neighbor Fence

Wave Bench

Serrated Planting Edge

Lagerstroemia indica
(Crape Myrtle)

Hospitality Seating

Raised Planter

In-ground Lighting

Spa Wall

Bike Racks

Glass Fence

Pool Bamboo Deck

Pool Deck Pavers

Decorative Cobble

Walkway Pavers

Striped Accent Paving

Accent Wall

Accent Wall

L-6.1

OCTANE - 2645 & 2655 FAYETTE DR.

LANDSCAPE IMAGERY

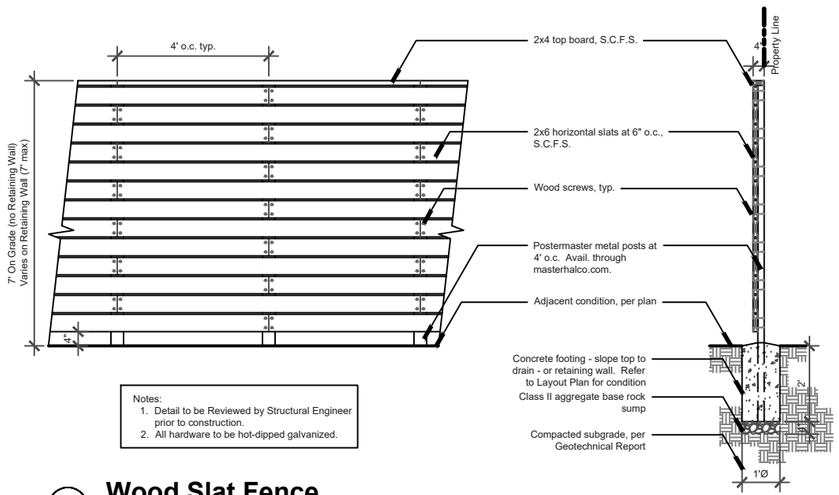
October 05, 2023

Color and Finish Schedule - Site

KEY	GRAPHIC	TYPE	SPEC	DIMENSIONS	COLOR / FINISH	MANUFACTURER	NOTES / QUANTITY	SUBMITTAL	SHOP DRAWINGS	IMAGE
PAVING										
Concrete Paving - Pedestrian and Vehicular										
		1	City Standard Sidewalk	Dimensions per plan Section per details	Color: Natural Gray Finish: Medium Broom Finish		Vehicular paving sections per Civil Engineer, S.C.D.	Required		
		2	Decorative Concrete	Dimensions per plan Section per details	Color: Pewter 860 Finish: Topcast #05	DAVIS Colors, 800.800.6856		Required		
Striped Stone Paving										
		1	Natural Granite Pavers	12"x24" nominal 20mm thick	Color: White Finish: Thermal Pattern: Running bond	All Natural Stone, 408.544.9600	For on-structure conditions, install on fiberglass grate and pedestals, (6) per tile. Refer to Layout Plans for pattern layout.	Required	Required	
		2	Natural Granite Pavers	12"x24" nominal 20mm thick	Color: Salt & Pepper Finish: Thermal Pattern: Running bond			Required	Required	
		3	Natural Granite Pavers	12"x24" nominal 20mm thick	Color: Black Finish: Thermal Pattern: Running bond			Required	Required	
Pedestal System										
		Pedestal	Bison Versadjust System	Pedestal Height:		Bison Innovative Products, Contact:	Install per manufacturer spec's. Refer to details.	Required	Required	
		Fiberglass Grate	FiberGrate Mesh Grate	As needed		Grainger	Install where noted, per manufacturer spec's. Refer to details.	Required	Required	
Decorative Gravel										
			La Paz cobble	1/2"-1" dia.	La Paz, Gray	Lyngso Garden Materials, 650.364.1730		Required		
WALLS / FENCES / RAILINGS										
Fences and Gates										
		Perimeter Fence	Wood slat fence	7' tall max. - Refer to Grading Plans	Western Red Cedar with clear sealant			Required	Required	
Walls										
		Perimeter Wall	Cast in Place concrete wall	S.C.D. for height	Color: Pebble 641 Finish: Smooth Provide 1/2" chamfer, 45° at corners	DAVIS Colors, 800.800.6856		Required		
FURNITURE										
Planter Pots										
		1	RZ-60	20.9" square, 23.6" height 88 lbs (not incl. soil weight)	Color: Gray Texture: T14	Atelier Vierkant, 877.796.0647, info@atelliervierkant.com	Qty: Allow time for manufacture and delivery	Required		
Bike Rack										
			SCBR 1600-DB Embedded mount		Finish: Black Finetex, fine textured	Maglin Site Furniture 800.716.5506.	Qty:	Required		
Trash Receptacle										
			Monsoon Bin - LB8 Slots	20 1/4" dia. x 38 3/4"H	Color: Powdercoat Color TBD	Spruce & Gander, Contact: Suzanne Anderson,	Qty:	Required	Required	
Bench										
		Wave Bench	Ohio Bench, Custom	Per details	Wood: Western Red Cedar Sealant: Clear, per details	Mark Richey Woodworking. Contact Pam Fullerton 978.499.3800.	Qty: Allow time for manufacture and delivery	Required	Required	
SPECIAL CONSTRUCTION										
Water Feature										
		Metal Basin	Black Anodized Aluminum	1/4" thick				Required	Required	
		Stone Slab	Natural Granite	3'x3'x3' slab	Black, Thermal	Stone Forest www.stoneforest.com		Required		
		Decorative Cobble	La Paz cobble	1/2"-1" dia.	La Paz, Gray	Lyngso Garden Materials, 650.364.1730		Required		
		Fountain System	Submersible pump, overflow drain, and auto-fill aparatus			Roman Fountains		Required		

Color and Finish Schedule - Podium

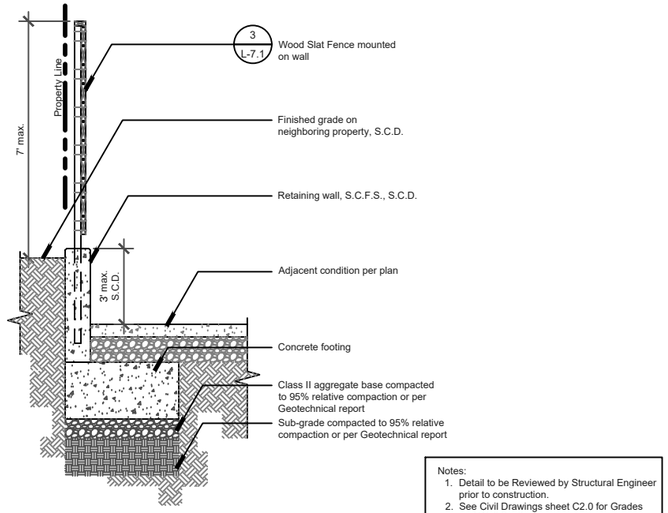
KEY	GRAPHIC	TYPE	SPEC	DIMENSIONS	COLOR / FINISH	MANUFACTURER	NOTES / QUANTITY	SUBMITTAL	SHOP DRAWINGS	IMAGE
PAVING										
Concrete Paving										
			Concrete Stair	Dimensions per plan Section per details	Color: Pewter to match Accent Pavers Finish: Smooth Trowel	DAVIS Colors, 800.800.6856		Required		
Precast Unit Pavers										
		1	12x24" Precast Paver	11-3/4" x 23-3/4" Pedestrian: 60mm	Color: Pewter Pattern: Running bond	Acker-stone Contact: Mike Cook, 951.674.0047		Required		
Porcelain Pavers										
			Porcelain Tile - CM2 Pietre Naturali High-Tech	24"x24" nominal 20mm thick	Color: Pietra Piasentina Pattern: Stacked bond	Eurowest, Contact: Tina Bianchi, 495.652.6524	Install on fiberglass grate and pedestals, refer below. (4) pedestals per tile.	Required		
Striped Stone Paving										
		1	Natural Granite Pavers	12"x24" nominal 20mm thick	Color: White Finish: Thermal Pattern: Running bond	All Natural Stone, 408.544.9600	Install on fiberglass grate and pedestals, refer below. (6) pedestals per tile. Refer to Layout Plans for pattern layout.	Required	Required	
		2	Natural Granite Pavers	12"x24" nominal 20mm thick	Color: Salt & Pepper Finish: Thermal Pattern: Running bond			Required	Required	
Bamboo Decking										
			Bison Bamboo Tiles	24"x24" nominal	Type: Bamboo Finish: Smooth Pattern: Running bond	Bison Innovative Products, Contact:	Install on pedestals, refer below. (4) pedestals per tile.	Required	Required	
Pedestal System										
		Pedestal	Bison Versadjust System	Pedestal Height:		Bison Innovative Products, Contact:	Install per manufacturer spec's. Refer to details.	Required	Required	
		Fiberglass Grate	FiberGrate Mesh Grate	As needed		Grainger	Install where noted, per manufacturer spec's. Refer to details.	Required	Required	
Decorative Gravel										
			La Paz cobble	1/2"-1" dia.	La Paz, Gray	Lyngso Garden Materials, 650.364.1730		Required		
WALLS / FENCES / RAILINGS										
Fences and Gates										
		Pool Fence, Gate	Kinslo Glass Fence	5'-6" tall - Refer to Fine Grading Plans	Tempered glass panels with 3x3" steel posts and top/bottom rail, per details	Kinslo, Contact: Al Aljilani, 714.568.1598,	Engineered per manufacturer.	Required	Required	
Walls										
		Planter Walls	CMU with Brick Veneer	Thin Veneer, per architect 8x16x8" standard block	Color and finish to match building	Per architect		Required		
FURNITURE										
Planter Pots										
		1	RZ-90	32.3" square 35.4" height 275 lbs (not incl. soil weight)	Color: White Texture: T14	Atelier Vierkant, 877.796.0647, info@atelliervierkant.com	Qty: Allow time for manufacture and delivery	Required		
		2	RZ-60	20.9" square, 23.6" height 88 lbs (not incl. soil weight)	Color: White Texture: T14		Qty: Allow time for manufacture and delivery	Required		
SPECIAL CONSTRUCTION										
Raised Spa										
		Coping	Single Bullnose CC-SBN	12"x24"x2"	Davis Pewter #860, Sand	Kay-Tee Products, 707-576-1018		Required	Required	
		Waterline Tile	Coastal Keystones Porcelain Mosaic Tile	6" Wide Band	Tropical Thunder Blend CK88	Daltile		Required		
		Exterior Tile	Articulo Glazed Ceramic Tile	6x18x3/8" thick	Editorial White Rectangle Wave AR06 Finish: Matte		Install on exposed exterior of raised spa	Required		
Barbeque Island										
		Grill	PGS-T Series Commercial 39-Inch Built-In Natural Gas Grill With Timer - S36TNG	Cutout: 36 1/2"W x 23"D x 9.5"H		The BBQ Guys, 877.743.2269	Note: To meet ADA requirements	Required		
		Counter	Chromica by Dekton	3 cm thick to 3" at edges	Industrial Collection - Portum	Dekton, Contact: Consentino San Francisco, 415.355.9639	Eased edges	Required	Required	
		Cabinets, Frame	Brown Jordan	Per details	Color: Painted to match building	Brown Jordan		Required	Required	



Notes:
1. Detail to be Reviewed by Structural Engineer prior to construction.
2. All hardware to be hot-dipped galvanized.

3 Wood Slat Fence

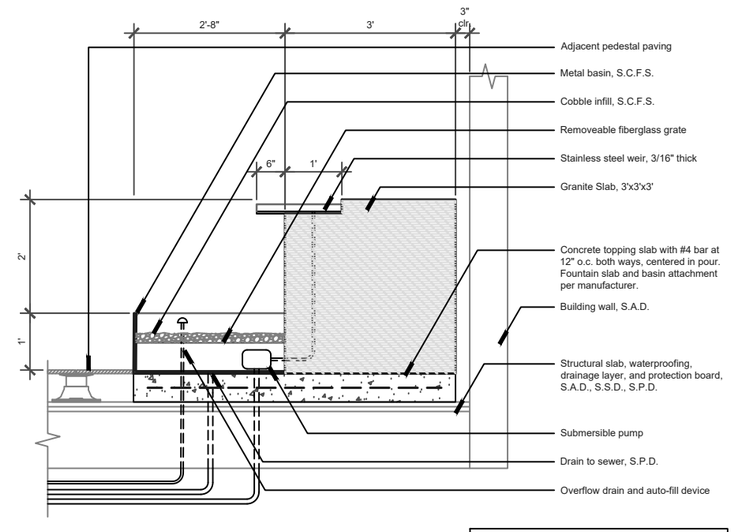
Scale: 1/4" = 1'-0"



Notes:
1. Detail to be Reviewed by Structural Engineer prior to construction.
2. See Civil Drawings sheet C2.0 for Grades and Wall Sections.

4 Wood Slat Fence on Retaining Wall

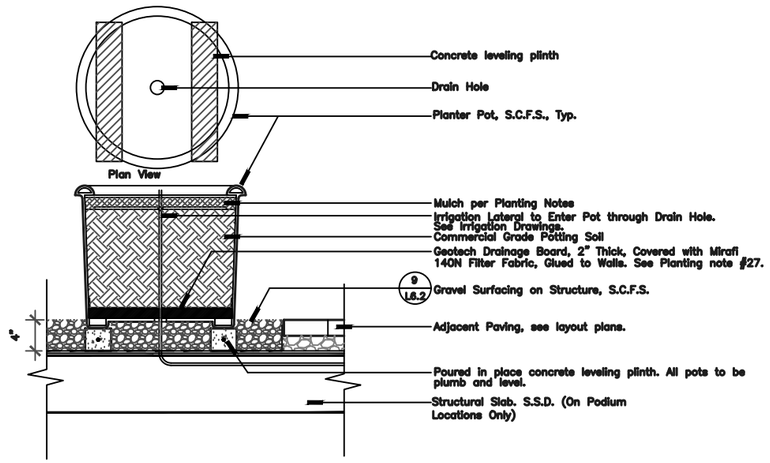
Scale: 1/4" = 1'-0"



Note: Contractor to provide shop drawings for review by Landscape Architect.

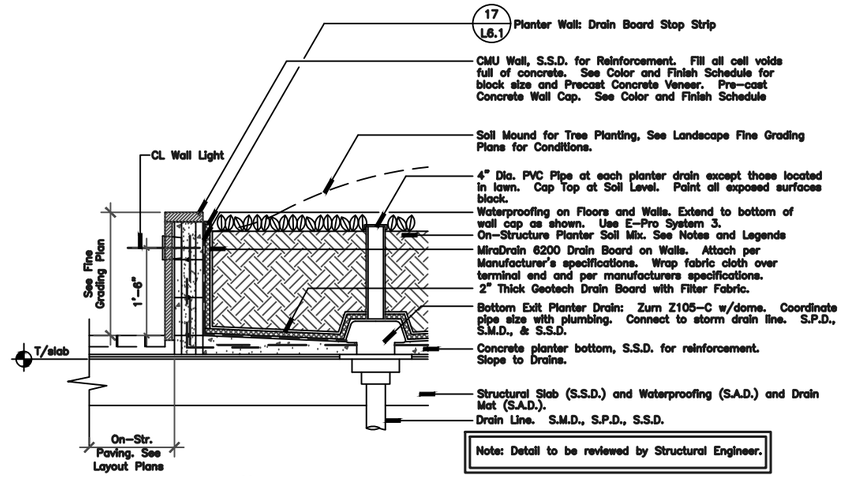
1 Lobby Entry Fountain

Scale: 3/4" = 1'-0"



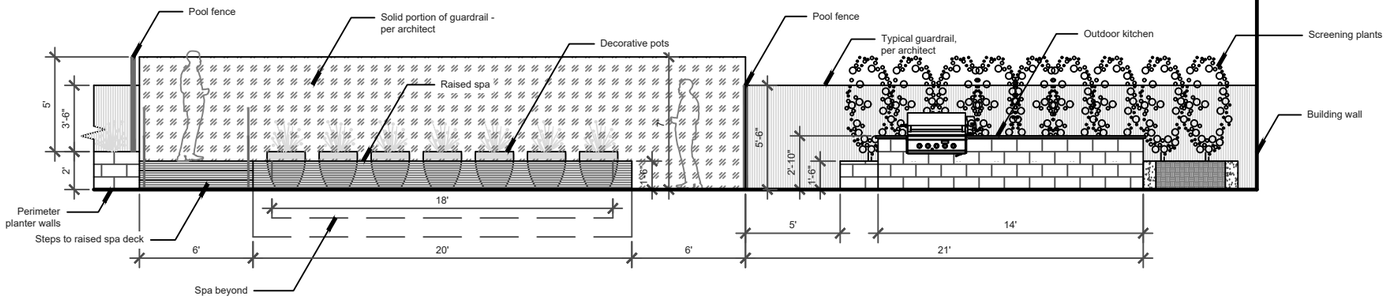
2 Planter Pot on Cobble On-Structure

Scale: 3/4" = 1'-0"



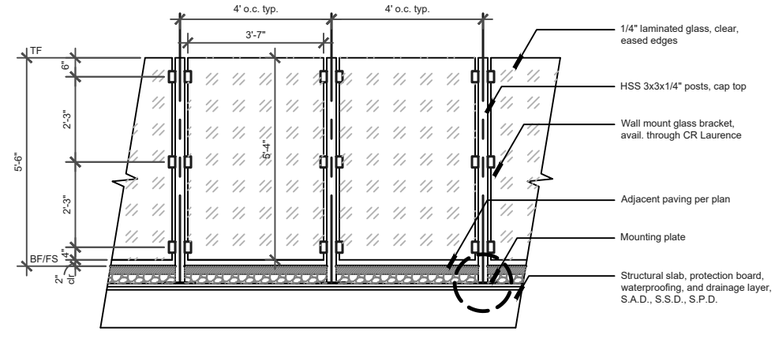
1 Planter Wall On-Structure

Not to Scale



3 Podium Spa Elevation

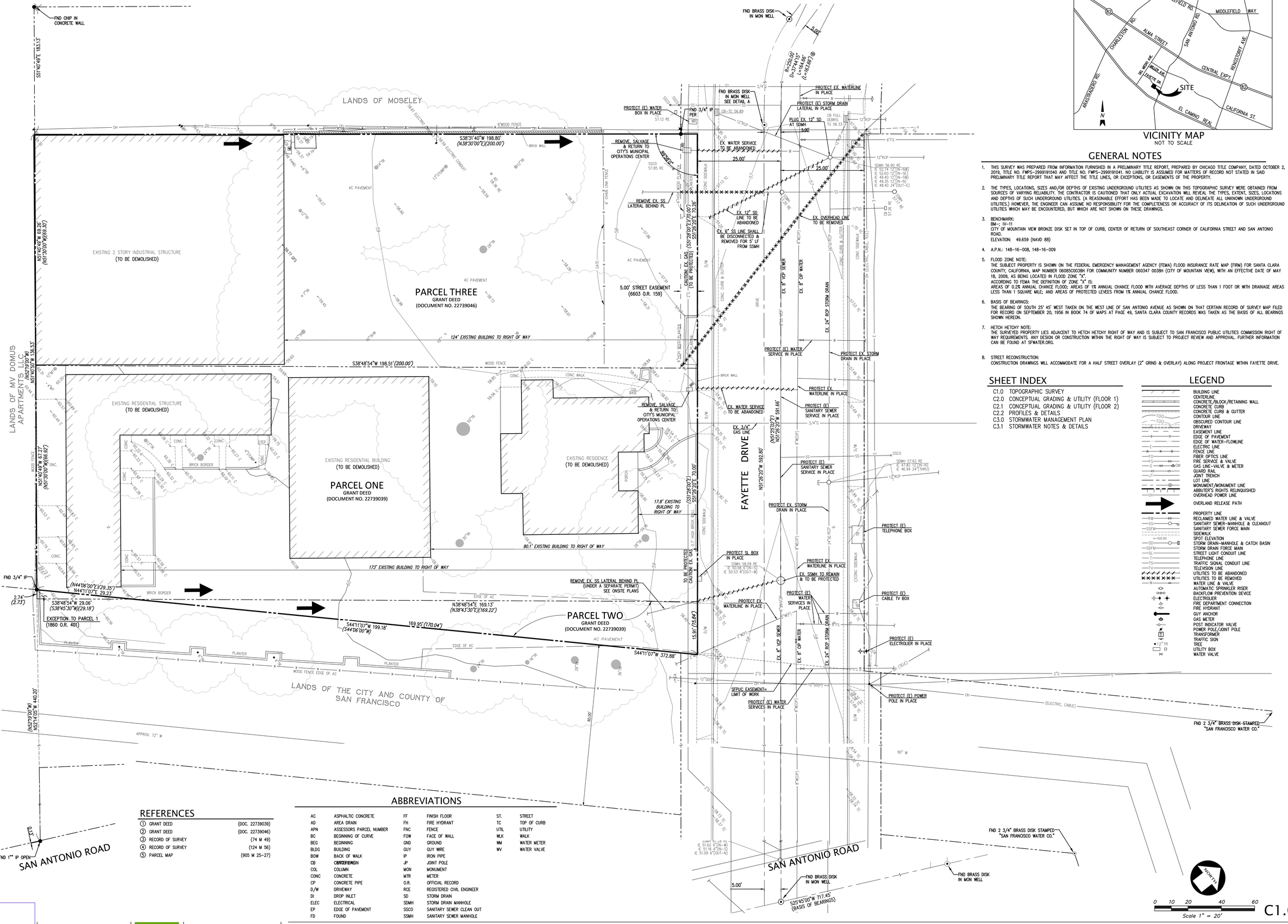
Scale: 1/4" = 1'-0"



NOTES:
1. Contractor to supply complete shop drawings to Landscape Architect for review prior to construction.
2. All exposed metal to be painted except for hardware. See Color and Finish Schedule.

2 Glass Pool Fence

Scale: 1/4" = 1'-0"



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE COMPANY, DATED OCTOBER 2, 2019, TITLE NO. FWPS-2999191040 AND TITLE NO. FWPS-2999191041. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.

2. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNKNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

3. BENCHMARK:
BM--; IV-11
CITY OF MOUNTAIN VIEW BRONZE DISK SET IN TOP OF CURB, CENTER OF RETURN OF SOUTHEAST CORNER OF CALIFORNIA STREET AND SAN ANTONIO ROAD.
ELEVATION: 49.659 (NAVD 88)

4. A.P.N.: 148-16-008, 148-16-009

5. FLOOD ZONE NOTE:
THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0038H FOR COMMUNITY NUMBER 060347 0038H (CITY OF MOUNTAIN VIEW), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "X".
ACCORDING TO FEMA THE DEFINITION OF ZONE "X" IS:
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS OF PROTECTED LEVEES FROM 1% ANNUAL CHANCE FLOOD.

6. BASIS OF BEARINGS:
THE BEARING OF SOUTH 25° 45' WEST TAKEN ON THE WEST LINE OF SAN ANTONIO AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED FOR RECORD ON SEPTEMBER 20, 1956 IN BOOK 74 OF MAPS AT PAGE 49, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.

7. HETCH HETCHY NOTE:
THE SURVEYED PROPERTY LIES ADJACENT TO HETCH HETCHY RIGHT OF WAY AND IS SUBJECT TO SAN FRANCISCO PUBLIC UTILITIES COMMISSION RIGHT OF WAY REQUIREMENTS. ANY DESIGN OR CONSTRUCTION WITHIN THE RIGHT OF WAY IS SUBJECT TO PROJECT REVIEW AND APPROVAL. FURTHER INFORMATION CAN BE FOUND AT SFWATER.ORG.

8. STREET RECONSTRUCTION:
CONSTRUCTION DRAWINGS WILL ACCOMMODATE FOR A HALF STREET OVERLAY (2" GRIND & OVERLAY) ALONG PROJECT FRONTAGE WITHIN FAYETTE DRIVE.

SHEET INDEX

LEGEND

BUILDING LINE
CENTERLINE
CONCRETE/BLOCK/RETAINING WALL
CONCRETE CURB
CONCRETE CURB & GUTTER
CONTOUR LINE
OBSCURED CONTOUR LINE
DRIVEWAY
EASEMENT LINE
EDGE OF PAVEMENT
EDGE OF WATER-FLOWLINE
ELECTRIC LINE
FENCE LINE
FIBER OPTICS LINE
FIRE SERVICE & VALVE
GAS LINE-VALVE & METER
GUARD RAIL
JOINT TRENCH
LOT LINE
MONUMENT/MONUMENT LINE
ABBUTER'S RIGHTS RELINQUISHED
OVERHEAD POWER LINE
OVERLAND RELEASE PATH
PROPERTY LINE
RECLAIMED WATER LINE & VALVE
SANITARY SEWER-MANHOLE & CLEANOUT
SANITARY SEWER FORCE MAIN
SIDEWALK
SPOT ELEVATION
STORM DRAIN-MANHOLE & CATCH BASIN
STORM DRAIN FORCE MAIN
STREET LIGHT CONDUIT LINE
TELEPHONE LINE
TRAFFIC SIGNAL CONDUIT LINE
TELEVISION LINE
UTILITIES TO BE ABANDONED
UTILITIES TO BE REMOVED
WATER LINE & VALVE
AUTOMATIC SPRINKLER RISER
BACKFLOW PREVENTION DEVICE
ELECTROLIER
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
GUY ANCHOR
GAS METER
POST INDICATOR VALVE
POWER POLE/JOINT POLE
TRANSFORMER
TRAFFIC SIGN
TREE
UTILITY BOX
WATER VALVE

REFERENCES

①	GRANT DEED	(DOC. 22739039)
②	GRANT DEED	(DOC. 22739046)
③	RECORD OF SURVEY	(74 M 49)
④	RECORD OF SURVEY	(124 M 56)
⑤	PARCEL MAP	(905 M 25-27)

ABBREVIATIONS

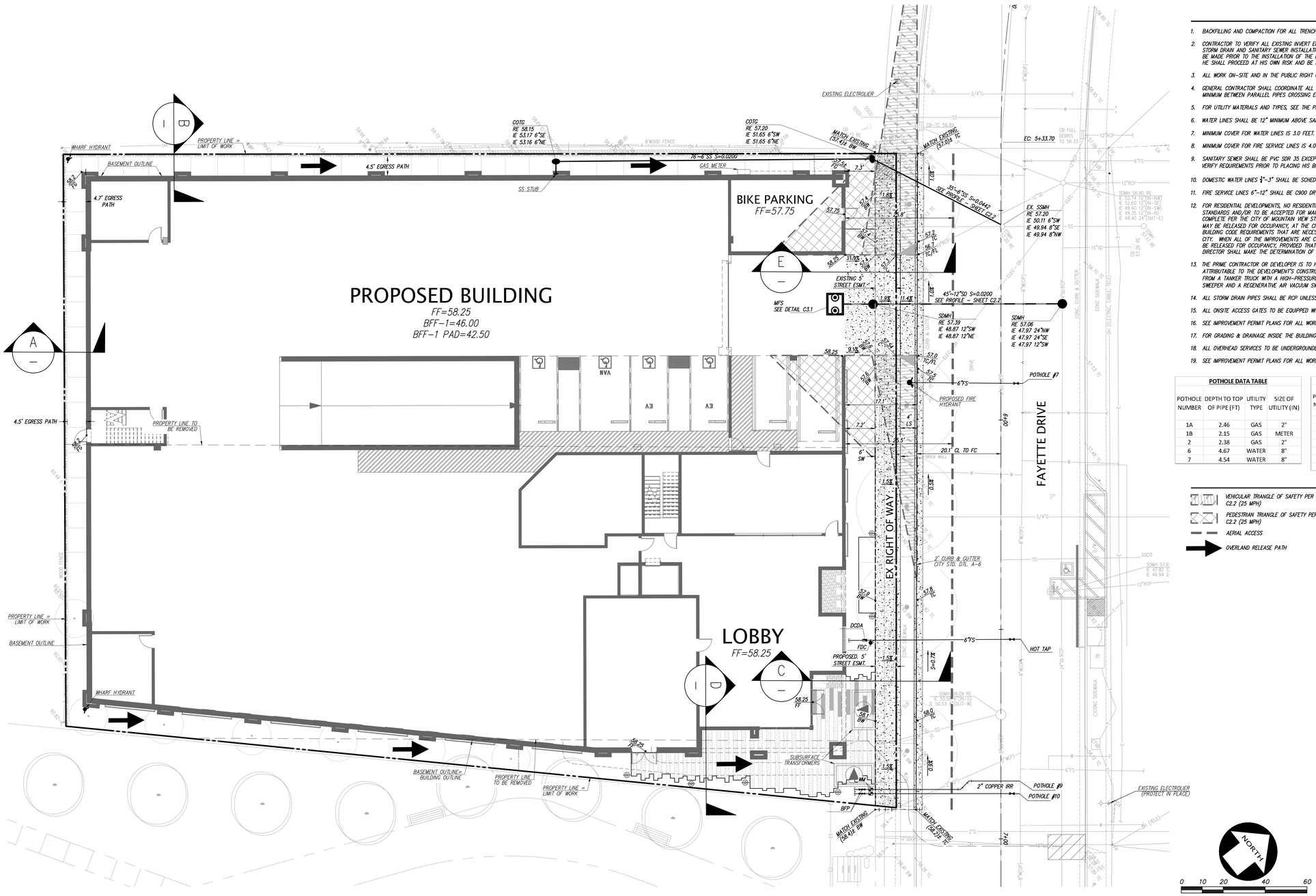
AC	ASPHALTIC CONCRETE	FF	FINISH FLOOR	ST.	STREET
AD	AREA DRAIN	FH	FIRE HYDRANT	TC	TOP OF CURB
APN	ASSESSORS PARCEL NUMBER	FNC	FENCE	UTIL	UTILITY
BC	BEGINNING OF CURVE	FOW	FACE OF WALL	WLK	WALK
BEG	BEGINNING	GND	GROUND	WM	WATER METER
BLDG	BUILDING	GUY	GUY WIRE	WV	WATER VALVE
BOW	BACK OF WALK	IP	IRON PIPE		
CB	CATCH BASIN	JP	JOINT POLE		
COL	COLUMN	MON	MONUMENT		
CONC	CONCRETE	MTR	METER		
CP	CONCRETE PIPE	O.R.	OFFICIAL RECORD		
D/W	DRIVEWAY	RCE	REGISTERED CIVIL ENGINEER		
DI	DROP INLET	SD	STORM DRAIN		
ELEC	ELECTRICAL	SDMH	STORM DRAIN MANHOLE		
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEAN OUT		
FD	FOUND	SSMH	SANITARY SEWER MANHOLE		

OCTANE CAPITAL MANAGEMENT | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE - 2645 & 2655 FAYETTE DR.

TOPOGRAPHIC SURVEY OCTOBER 05, 2023

C1.0



UTILITY NOTES

1. BACKFILLING AND COMPACTION FOR ALL TRENCHES SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
2. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM DRAIN AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
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4. GENERAL CONTRACTOR SHALL COORDINATE ALL UNDERGROUND UTILITIES. PROVIDE 6" MINIMUM BETWEEN PIPES CROSSING ELECTRICAL LINES HORIZONTALLY AND 12" MINIMUM BETWEEN PARALLEL PIPES CROSSING ELECTRICAL LINES.
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6. WATER LINES SHALL BE 12" MINIMUM ABOVE SANITARY SEWER LINE AT ALL CROSSINGS.
7. MINIMUM COVER FOR WATER LINES IS 3.0 FEET.
8. MINIMUM COVER FOR FIRE SERVICE LINES IS 4.0 FEET.
9. SANITARY SEWER SHALL BE PVC SDR 35 EXCEPT WHERE DUCTILE IRON PIPE (DIP) IS NOTED OR AS REQUIRED BY THE LOCAL JURISDICTION. CONTRACTOR SHALL VERIFY REQUIREMENTS PRIOR TO PLACING HIS BID. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 50.
10. DOMESTIC WATER LINES ¾"-3" SHALL BE SCHEDULE 40 PVC, 4" AND ABOVE SHALL BE C900 DR 18 PIPE.
11. FIRE SERVICE LINES 6"-12" SHALL BE C900 DR 14, UNLESS SPECIFIED OTHERWISE ON FIRE SHOP DRAWINGS.
12. FOR RESIDENTIAL DEVELOPMENTS, NO RESIDENTIAL UNITS WILL BE RELEASED FOR OCCUPANCY UNLESS THE IMPROVEMENTS TO BE CONSTRUCTED TO CITY STANDARDS AND/OR TO BE ACCEPTED FOR MAINTENANCE BY THE CITY, INCLUDING WATER METERS AND SANITARY SEWER CLEANOUTS, ARE SUBSTANTIALLY COMPLETE PER THE CITY OF MOUNTAIN VIEW STANDARD PROVISIONS FOR PUBLIC WORKS CONSTRUCTION. FOR PHASED DEVELOPMENTS, PORTIONS OF THE UNITS MAY BE RELEASED FOR OCCUPANCY, AT THE CITY'S SOLE DISCRETION, PROVIDED THAT ALL PUBLIC AND PRIVATE IMPROVEMENTS, CONDITIONS OF APPROVAL, AND BUILDING CODE REQUIREMENTS THAT ARE NECESSARY TO SUPPORT THE UNITS TO BE RELEASED FOR OCCUPANCY HAVE BEEN COMPLETED AS DETERMINED BY THE CITY. WHEN ALL OF THE IMPROVEMENTS ARE COMPLETE AND/OR READY FOR ACCEPTANCE FOR MAINTENANCE BY THE CITY COUNCIL, THE REMAINING UNITS MAY BE RELEASED FOR OCCUPANCY, PROVIDED THAT ALL OTHER CONDITIONS OF APPROVAL AND BUILDING CODE REQUIREMENTS HAVE BEEN MET. THE PUBLIC WORKS DIRECTOR SHALL MAKE THE DETERMINATION OF WHAT PUBLIC IMPROVEMENTS ARE SUBSTANTIALLY COMPLETE.
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16. SEE IMPROVEMENT PERMIT PLANS FOR ALL WORK IN THE RIGHT OF WAY.
17. FOR GRADING & DRAINAGE INSIDE THE BUILDING FOOTPRINT & ATOP THE PODIUM, REFER TO LANDSCAPE PLANS.
18. ALL OVERHEAD SERVICES TO BE UNDERGROUNDED OR REMOVED PER JOINT TRENCH PLANS.
19. SEE IMPROVEMENT PERMIT PLANS FOR ALL WORK IN THE RIGHT OF WAY.

POTHOLE DATA TABLE

POTHOLE NUMBER	DEPTH TO TOP OF PIPE (FT)	UTILITY TYPE	SIZE OF UTILITY (IN)
1A	2.46	GAS	2"
1B	2.15	GAS	METER
2	2.38	GAS	2"
6	4.67	WATER	8"
7	4.54	WATER	8"

POTHOLE DATA TABLE

POTHOLE NUMBER	DEPTH TO TOP OF PIPE (FT)	UTILITY TYPE	SIZE OF UTILITY (IN)
3	2.27	GAS	2"
4	2.25	GAS	2"
5	2.18	GAS	2"
8	4.52	WATER	8"
9	4.7	WATER	8"
10	4.73	WATER	8"
11	9.3	WATER	8"

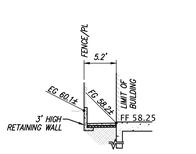
EARTHWORK QUANTITIES

CUT:	15,600 CY
FILL:	25 CY
EXPORT:	15,575 CY
IMPORT:	0 CY

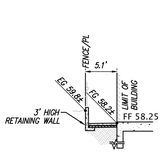
NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

LEGEND

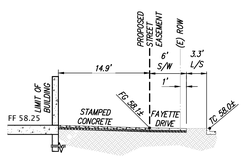
- VEHICULAR TRIANGLE OF SAFETY PER CITY STD. DTL. A-22, SHEET C2.2 (25 MPH)
- PEDESTRIAN TRIANGLE OF SAFETY PER CITY STD. DTL. A-22, SHEET C2.2 (25 MPH)
- AERIAL ACCESS
- OVERLAND RELEASE PATH



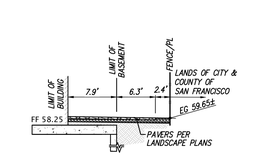
WESTERN SECTION (A)
SCALE: 1"=10'



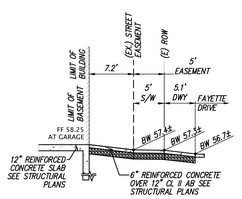
NORTHERN SECTION (B)
SCALE: 1"=10'



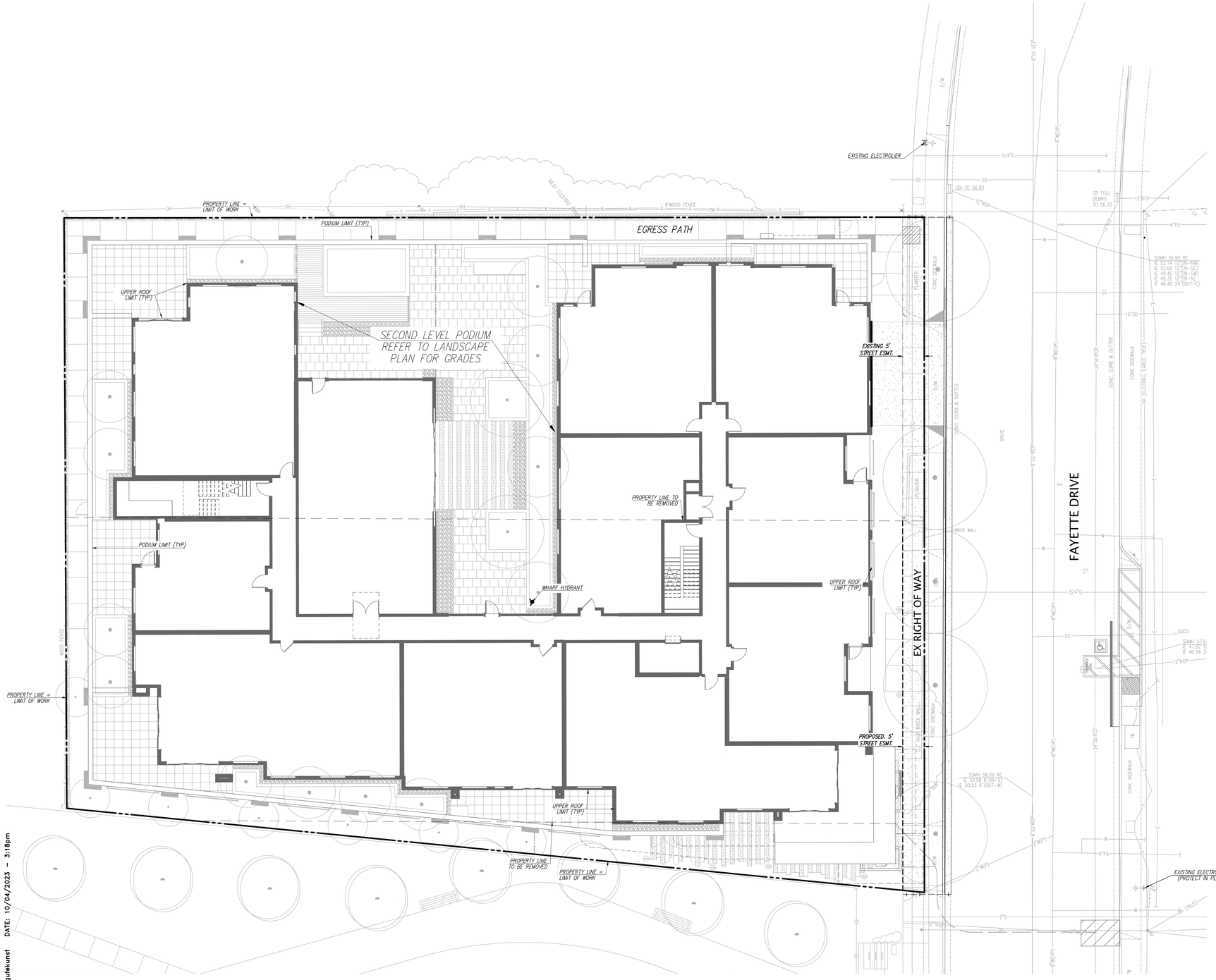
EASTERN SECTION (C)
SCALE: 1"=10'



SOUTHERN WALL SECTION (D)
SCALE: 1"=10'



DRIVEWAY SECTION (E)
SCALE: 1"=10'



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NORTH

0 10 20 40 60

Scale 1" = 20'

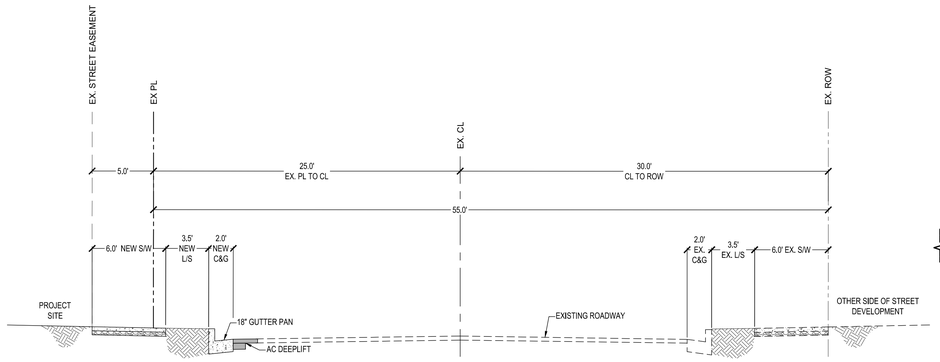
C2.1

OCTANE CAPITAL MANAGEMENT | 3DE ARCHITECTURE | TGP | KIER+WRIGHT

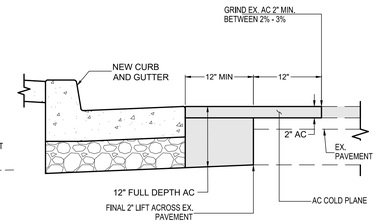
OCTANE - 2645 & 2655 FAYETTE DR.

CONCEPTUAL GRADING & UTILITY (FLOOR 2) OCTOBER 05, 2023

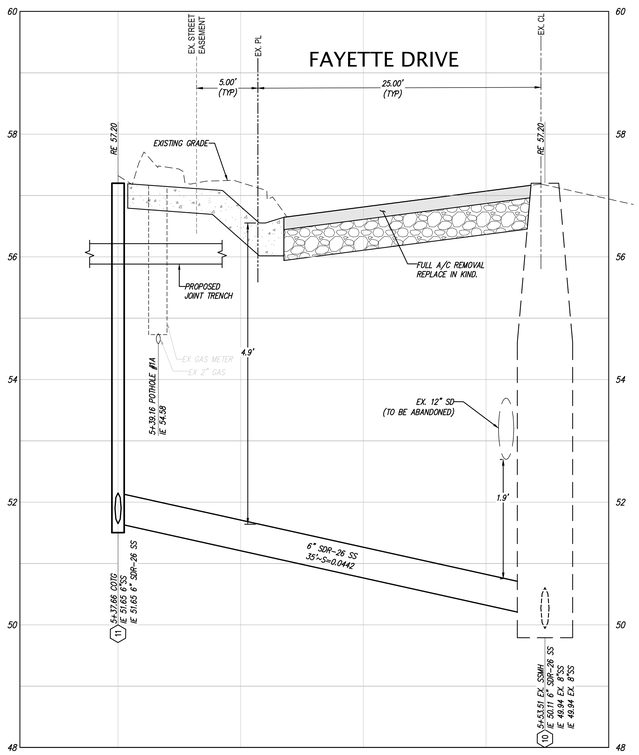
Z:\2017\A17170-2\DWG\ENTITLEMENTS\ A17170-PG-GP-UP (FL2).dwg USER: cgutekunst DATE: 10/04/2023 - 3:18pm



TYPICAL FAYETTE DRIVE SECTION
SCALE: 1"=5'



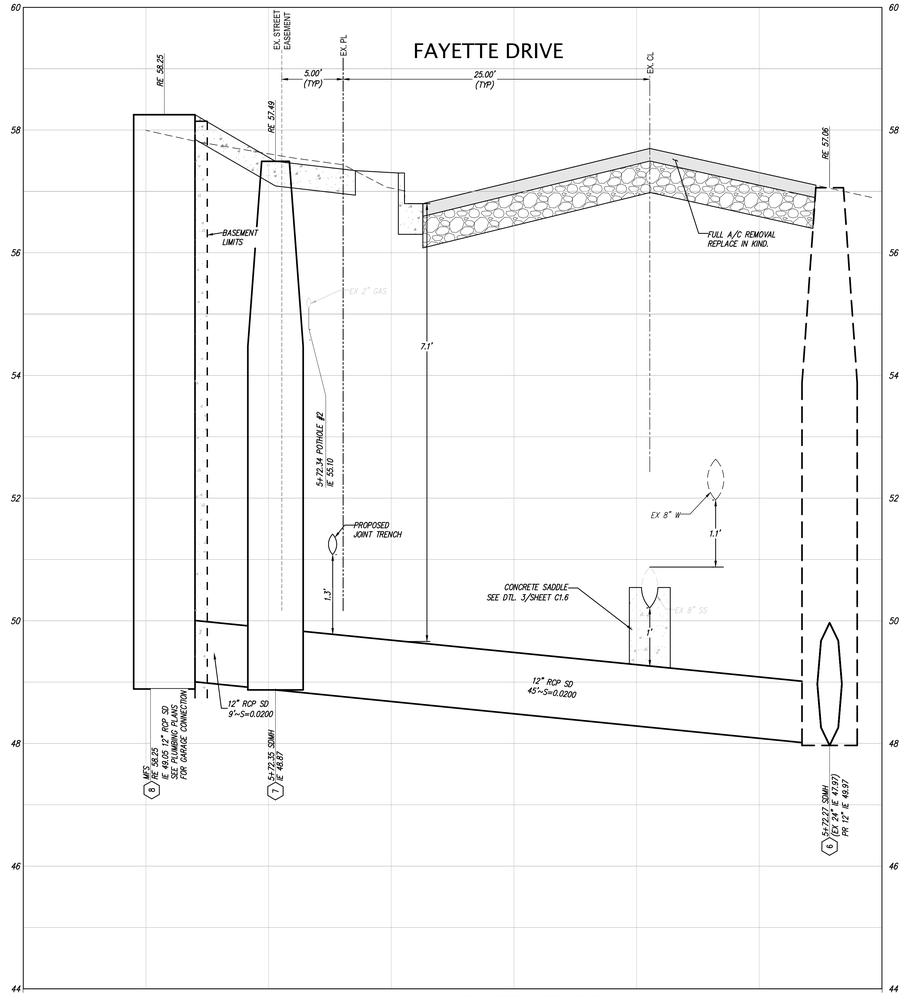
AC DEEPLIFT
NOT TO SCALE



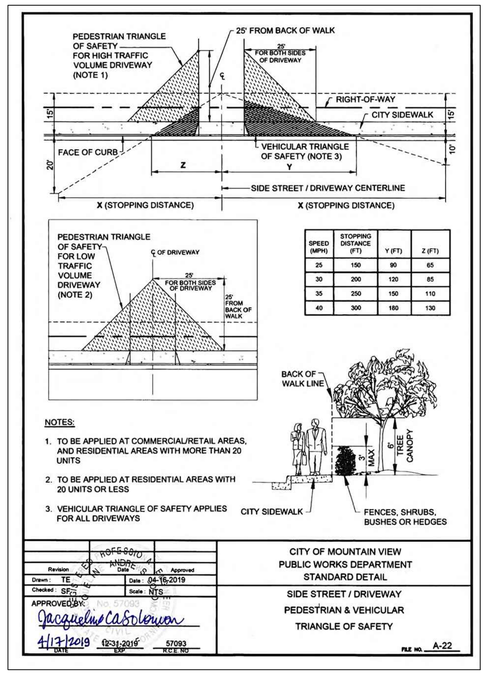
6" SS LATERAL PROFILE
STA 5+37.66 TO 5+53.51
SCALE: 1"=5' H
1"=1' V

KEY NOTES

6. INSTALL STORM DRAIN MANHOLE FOR PIPE 48" DIA. AND LESS. SEE CITY STD. DTL. B-1, B-2, & B-3
7. INSTALL PROPERTY LINE STORM DRAIN INLET, CLEAN-OUT, FRAME & GRATE SEE CITY STD. DTL. B-8 & B9
8. SEE DTL. PERK FILTER ON SHEET C3.1 (SHOWN FOR REFERENCE ONLY)
10. CONNECT NEW PIPE TO EXISTING SANITARY SEWER MANHOLE. SEE CITY STD. DTL. C-2
11. INSTALL SEWER LATERAL CLEAN-OUT NEW 4" & 6" LATERALS. SEE CITY STD. DTL. C-7



12" SD LATERAL PROFILE
STA 5+72.27 TO 5+72.35
SCALE: 1"=5' H
1"=1' V



SPEED (MPH)	STOPPING DISTANCE (FT)	Y (FT)	Z (FT)
25	150	90	65
30	200	120	85
35	250	150	110
40	300	180	130

NOTES:

1. TO BE APPLIED AT COMMERCIAL/RETAIL AREAS, AND RESIDENTIAL AREAS WITH MORE THAN 20 UNITS
2. TO BE APPLIED AT RESIDENTIAL AREAS WITH 20 UNITS OR LESS
3. VEHICULAR TRIANGLE OF SAFETY APPLIES FOR ALL DRIVEWAYS

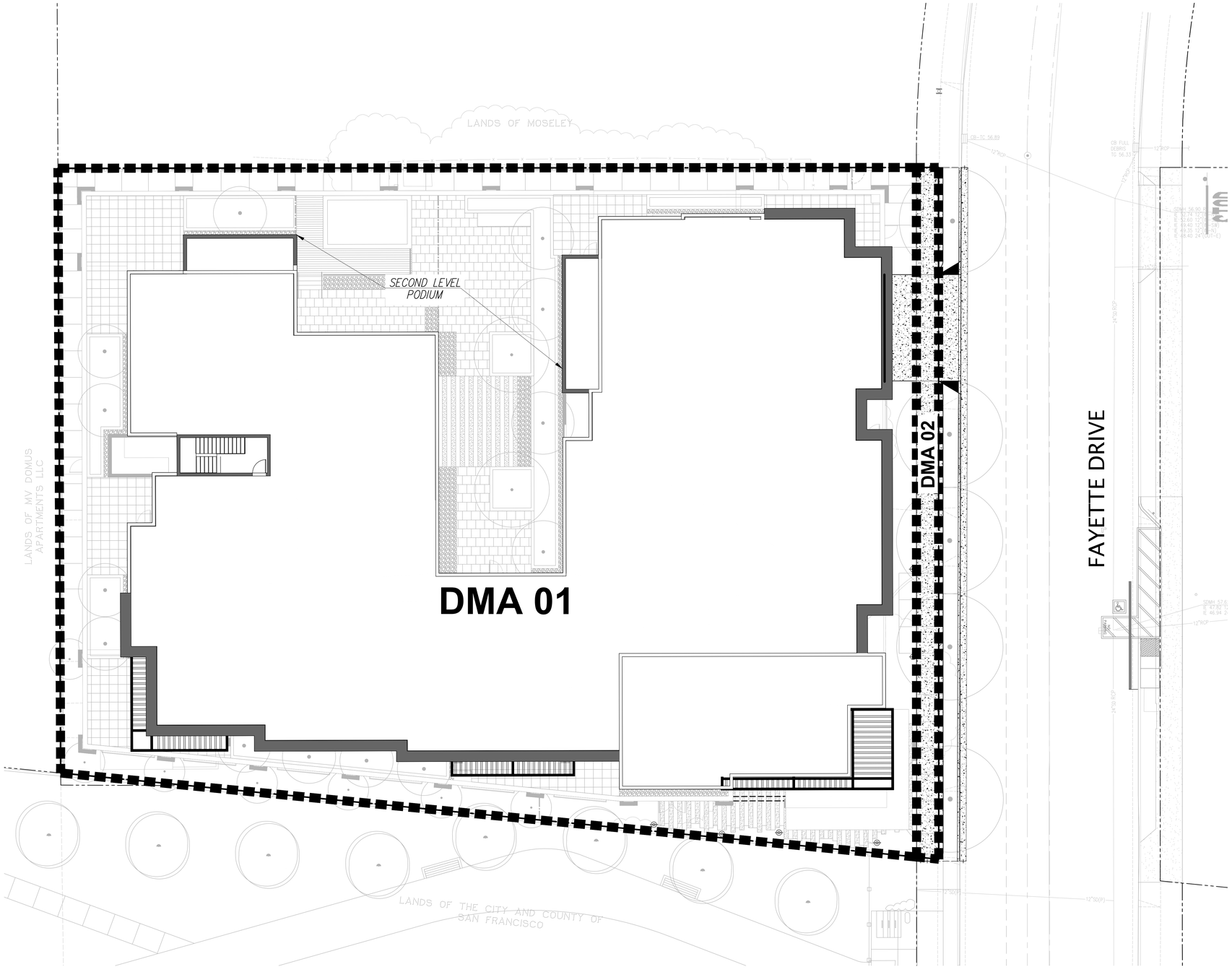
Revision	By	Date	Approved
Drawn:	TE	Date	04-15-2019
Checked:	BFS	Scale	NTS

APPROVED BY:
Jacqueline Caporicon
4/17/2019 DATE | 12-31-2016 EXP | 57093 R.C.E. NO

CITY OF MOUNTAIN VIEW
PUBLIC WORKS DEPARTMENT
STANDARD DETAIL

SIDE STREET / DRIVEWAY
PEDESTRIAN & VEHICULAR
TRIANGLE OF SAFETY

FILE NO. A-22



STORMWATER CONTROL NOTES

1. PROJECT IS CONSIDERED A SPECIAL PROJECT AND QUALIFIES FOR A 100% REDUCTION IN LID TREATMENT REQUIREMENTS.
2. NINETY-THREE PERCENT (93%) OF PROJECT AREA WILL BE TREATED WITH A NON-LID TREATMENT MEASURE (KRISTAR FLOGARD PERK FILTER VAULT). THE REMAINING SEVEN PERCENT (7%) AREA IS WITHIN THE EXISTING 5' STREET EASEMENT AND WILL BE DIRECTED TO THE PUBLIC STORM DRAIN SYSTEM.
3. THE COST OF MAINTENANCE FOR ALL TREATMENT FACILITIES WILL BE BORNE BY THE PROPERTY OWNER.

SOURCE CONTROL MEASURES IMPLEMENTED

1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
   - INTERIOR PARKING STRUCTURES.
   - POOLS, SPAS, FOUNTAINS.
   - PUMPED GROUNDWATER.
2. BENEFICIAL LANDSCAPING.
3. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
4. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
5. STORM DRAIN LABELING.

SITE DESIGN MEASURES IMPLEMENTED

1. PROTECT EXISTING TREES, VEGETATION, AND SOIL.
2. PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
3. CLUSTER STRUCTURES/PAVEMENT.
4. PARKING:
   4.1. ON TOP OF OR UNDER BUILDINGS.
   4.2. NOT PROVIDED IN EXCESS OF CODE.

TABLE 1 — **ROUTINE MAINTENANCE**

ACTIVITIES FOR MEDIA FILTERS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT FOR STANDING WATER, SEDIMENT, TRASH AND DEBRIS.	MONTHLY DURING RAINY SEASON
2	REMOVE ACCUMULATED TRASH AND DEBRIS IN THE UNIT DURING ROUTINE INSPECTIONS.	MONTHLY DURING RAINY SEASON, OR AS NEEDED AFTER STORM EVENTS
3	INSPECT TO ENSURE THAT THE FACILITY IS DRAINING COMPLETELY WITHIN FIVE DAYS AND PER MANUFACTURER'S SPECIFICATIONS.	ONCE DURING THE WET SEASON AFTER MAJOR STORM EVENT.
4	REPLACE THE MEDIA PER MANUFACTURER'S INSTRUCTIONS OR AS INDICATED BY THE CONDITION OF THE UNIT.	PER MANUFACTURER'S SPECIFICATIONS.
5	INSPECT MEDIA FILTERS USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED

LEGEND

- TREATMENT AREA LIMITS
- BIOTREATMENT POND
- **TCM** TREATMENT CONTROL MEASURE
- **DMA** DRAINAGE MANAGEMENT AREA

a. Total Site Area: 0.67 acres		**b. Total Site Area Disturbed:** 0.67 acres (including clearing, grading, or excavating)																
Site Totals	**Total Existing (Pre-project) Area (ft^2)**	**Existing Area Retained[1] (ft^2)**	**Existing Area Replaced[2] (ft^2)**	**New Area Created[2] (ft^2)**	**Total Post-Project Area (ft^2)**													
c. Total Impervious Area (IA)	23,803	0	23,803	4,081	27884													
d. Total new and replaced impervious area			27,884															
e. Total Pervious Area (PA)[3]	5,246				1,165													
f. Total Area (IA+PA)	29,049				29,049													
g. Percent Replacement of IA in Redevelopment Projects: (Existing IA Replaced ÷ Existing Total IA) x 100% 100.00 %																		

TREATMENT CONTROL MEASURE SUMMARY TABLE

											Bioretention			Media Filter			
DMA #	TCM #	Location[1]	Treatment Type[2]	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area[4] (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	# of Cartridges Required	# of Cartridges Provided	Media Type	Cartridge Height (inches)
1	1	Onsite	Proprietary Media Filter System (MFS) (only allowed for special projects)	Non-LID	3. Flow-Volume Combo	28,269	27,104	1,165	100.00%	N/A	N/A	N/A				
2	2	Onsite	Maintenance	N/A	N/A	780	780	0	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A
					Totals:	29,049	27,884	1,165	100.00%							

NORTH

0 10 20 40 60

Scale 1" = 20'

C3.0

OCTANE CAPITAL MANAGEMENT | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE - 2645 & 2655 FAYETTE DR.

STORMWATER MANAGEMENT PLAN OCTOBER 05, 2023

MEDIA FILTER SIZING

DMA # 1

A= 28269 s.f. A= 0.64897 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	27,104	0.867
0.8	0	
0.7	0	
0.1	1,165	

Rainfall Intensity (i)

i = 0.2

* Input Values by hand or use Table at the bottom of the spreadsheet.

Q= C x i x A

Q= 0.1125349 cfs

Manufacturer: Oldcastle

Cartridge Height: Stacked 18" + 12" in.

Cartridge Media (if applicable): PerkFilter

G.U.L.D. Cartridge Treatment Flowrate (CTF): 60 gpm/cartridge

Cartridges= [Q x (449 gpm/cfs)] / CTF

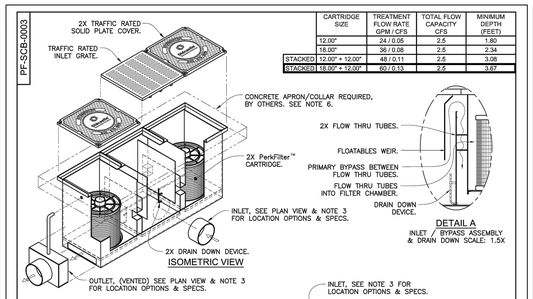
Cartridges = 0.842136 (round up)

 # Cartridges Required= 1

Treatment Flow Rate Capacity= 0.13363 **cfs**

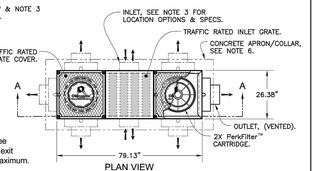
PF-SCB-0003

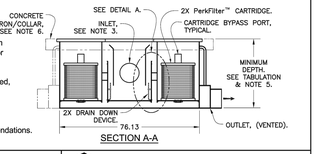
	CARTRIDGE SIZE	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY CFS	MINIMUM DEPTH (FEET)
	12.00"	24 / 0.05	2.5	1.80
	18.00"	36 / 0.08	2.5	2.34
STACKED	12.00" + 12.00"	48 / 0.11	2.5	3.08
STACKED	18.00" + 12.00"	60 / 0.13	2.5	3.87



Notes:

1. All steel utilized in fabrication and shall be 1/4" plate per ASTM A36.
2. PerkFilter™ Catch basin shall be supplied with traffic rated (H20) bicycle-proof grates and solid plate cover.
3. Inlet pipe(s) may enter device on any of three sides of the inlet chamber. Outlet pipe may exit on any of all four sides. All pipe is Ø 12" maximum.
4. Inlet chamber shall be supplied with a DRAIN DOWN device designed to remove standing water between storm events.
5. For depths less than the specified minimum contact Oldcastle® Stormwater Solutions for engineering assistance.
6. Field poured Concrete Apron / Collar required, by others. Refer to PF-SCB-1000 for recommended configuration.
7. PerkFilter™ cartridge shall be maintained in accordance with manufacturer recommendations.





PerkFilter™
Steel Catch Basin
Double Cartridge
(Bilateral Configuration)

Media Filtration

Oldcastle® Stormwater Solutions

7501 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

ORIGINAL SCALE	REV. BY	DATE	DWG.	SHEET
PF-SCB-0003	NR	ECO-0143 NEW	JPR 12/2/16	SHEET 1 OF 1

Special Projects Worksheet

Project Name: 2645 Fayette Drive

Project Address: 2645 & 2655 Fayette Drive, Mountain View, CA 94041

Applicant/Developer Name: Octane Capital

1. "Special Project" Determination:

Special Project Category "A"

Does the project have ALL of the following characteristics?

- ☐ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district[1];
- ☐ Creates and/or replaces 0.5 acres or less of impervious surface;
- ☐ Includes no surface parking, except for incidental parking for emergency vehicle access, ADA access, and passenger or freight loading zones;
- ☐ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment.

☐ No (continue) ☐ Yes – complete Section 2 of the Special Project Worksheet

Special Project Category "B"

Does the project have ALL of the following characteristics?

- ☒ Located in a municipality's designated central business district, downtown core area or downtown core zoning district, neighborhood business district or comparable pedestrian-oriented commercial district, or historic preservation site and/or district[1];
- ☒ Creates and/or replaces an area of impervious surface that is greater than 0.5 acres, and no more than 2.0 acres;
- ☒ Includes no surface parking, except for incidental parking for emergency access, ADA access, and passenger or freight loading zones;
- ☒ Has at least 85% coverage of the entire site by permanent structures. The remaining 15% portion of the site may be used for safety access, parking structure entrances, trash and recycling service, utility access, pedestrian connections, public uses, landscaping and stormwater treatment;
- ☒ Minimum density of either 50 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial or mixed use projects)

☐ No (continue) ☒ Yes – complete Section 2 of the Special Project Worksheet

Special Project Category "C"

Does the project have ALL of the following characteristics?

- ☐ At least 50% of the project area is within 1/2 mile of an existing or planned transit hub[2] or 100% within a planned Priority Development Area[3];
- ☐ The project is characterized as a non-auto-related use[4]; and
- ☐ Minimum density of either 25 dwelling units per acre (for residential projects) or a Floor Area Ratio (FAR) of 2:1 (for commercial or mixed use projects)

☐ No ☐ Yes – complete Section 2 of the Special Project Worksheet

[1] And built as part of a municipality's stated objective to preserve/enhance a pedestrian-oriented type of urban design.

[2] "Transit hub" is defined as a rail, light rail, or commuter rail station, ferry terminal, or bus transfer station served by three or more bus routes. (A bus stop with no supporting services does not qualify.)

[3] A "planned Priority Development Area" is an infill development area formally designated by the Association of Bay Area Government's / Metropolitan Transportation Commission's FOCUS regional planning program.

[4] Category C specifically excludes stand-alone surface parking lots; car dealerships; auto and truck rental facilities with onsite surface storage; fast-food restaurants, banks or pharmacies with drive-through lanes; gas stations; car washes; auto repair and service facilities; or other auto-related project unrelated to the concept of transit oriented development.

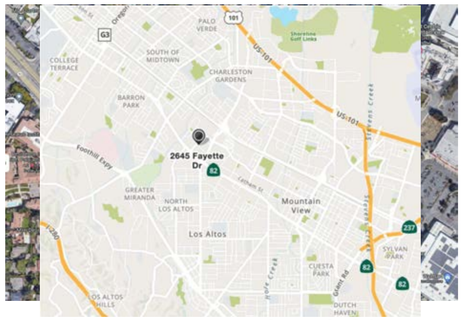
Special Projects Worksheet

2. LID Treatment Reduction Credit Calculation:

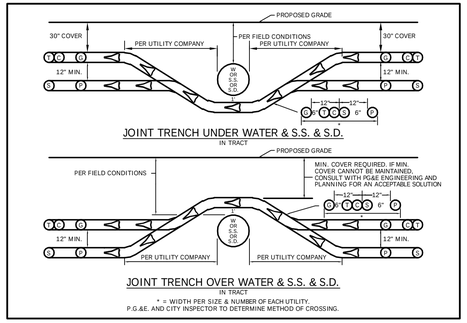
Category	Impervious Area Created/Replaced (acres)	Site Coverage (%)	Project Density or FAR	Density/Criteria	Allowable Credit (%)	Applied Credit (%)
A			N.A.	N.A.	100%	
B	0.67	86%	106 DU/AC	Res ≥ 50 DU/ac or FAR ≥ 2:1	50%	
				Res ≥ 75 DU/ac or FAR ≥ 3:1	75%	
				Res ≥ 100 DU/ac or FAR ≥ 4:1	100%	100%
C				**Location credit (select one)[5]:**		
				Within ¼ mile of transit hub	50%	
				Within ½ mile of transit hub	25%	
				Within a planned PDA	25%	
				Density credit (select one):		
				Res ≥ 30 DU/ac or FAR ≥ 2:1	10%	
				Res ≥ 60 DU/ac or FAR ≥ 4:1	20%	
				Res ≥ 100 DU/ac or FAR ≥ 6:1	30%	
				Parking credit (select one):		
				≥ 10% at-grade surface parking[6]	10%	
				No surface parking	20%	
				TOTAL TOD CREDIT =		100%

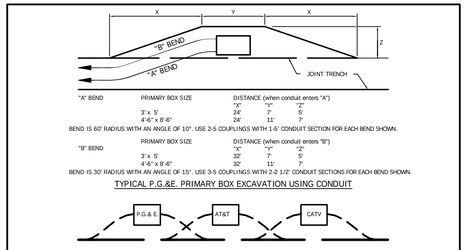
[4] To qualify for the location credit, at least 50% of the project's site must be located within the ¼ mile or ½ mile radius of an existing or planned transit hub, as defined on page 1, footnote 2. A planned transit hub is a station on the MTC's Regional Transit Expansion Program list, per MTC's Resolution 3434 (revised April 2006), which is a regional priority funding plan for future transit stations in the San Francisco Bay Area. To qualify for the PDA location credit, 100% of the project site must be located within a PDA, as defined on page 1, footnote 3.

[5] The at-grade surface parking must be treated with LID treatment measures.



VICINITY MAP - NOT TO SCALE





SECTION	G	T	C	S	P	OTHER
A*	X	X	X	X	X	
B*	X	X		X	X	
C*	X		X	X	X	
D*		X	X	X	X	
E*	X			X	X	
F*		X		X	X	
G*			X	X	X	
H*				X	X	
I	X	X	X			
J	X	X				
K	X		X			
L		X	X			
M	X	X	X	X		
N	X	X		X		
O	X		X	X		
P		X	X	X		
Q	X			X		
R		X		X		
S			X	X		
T	X					
U		X				
V			X			
W				X		

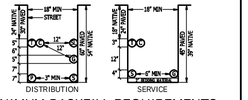
* THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

MINIMUM SEPARATION AND CLEARANCE REQUIREMENTS (INCHES)

LBL	UTILITY TYPE	G	PVDT	SP	C	S	P	SL
G	(GAS) SEE NOTES 4,7, & 13	-	12	12	12	6	12	6
T	TELEPHONE (DUCT)	12	-	1	1	12	12	12
T	TELEPHONE (DIRRECT BURY)	12	1	-	1	12	12	12
C	CATV	12	1	1	-	12	12	12
S	ELECTRIC SECONDARY	6	12	12	12	1.5	3	1.5
P	ELECTRIC PRIMARY	12	12	12	12	3	3	3
SL	STREET LIGHT - SEE NOTE 5	6	12	12	12	1.5	3	1.5
FE*	(FOREIGN ELEC SOURCES, NON PG&E*) SEE NOTE 5	12	12**	12**	12**	12	12	12

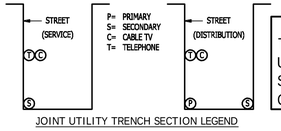
*MUST BE CONSIDERED A "UTILITY" AS DEFINED IN UTILITY STANDARD SS453, "JOINT TRENCH."

**FOR EXCEPTIONS, REFER TO G.O. 128 RULE, SECTION B, ITEMS (1) AND (2).



MINIMUM BACKFILL REQUIREMENTS

JOINT TRENCH CONTRACTOR SHALL COMPLY WITH LOCAL GOVERNING AGENCIES' STANDARDS AND SPECIFICATIONS



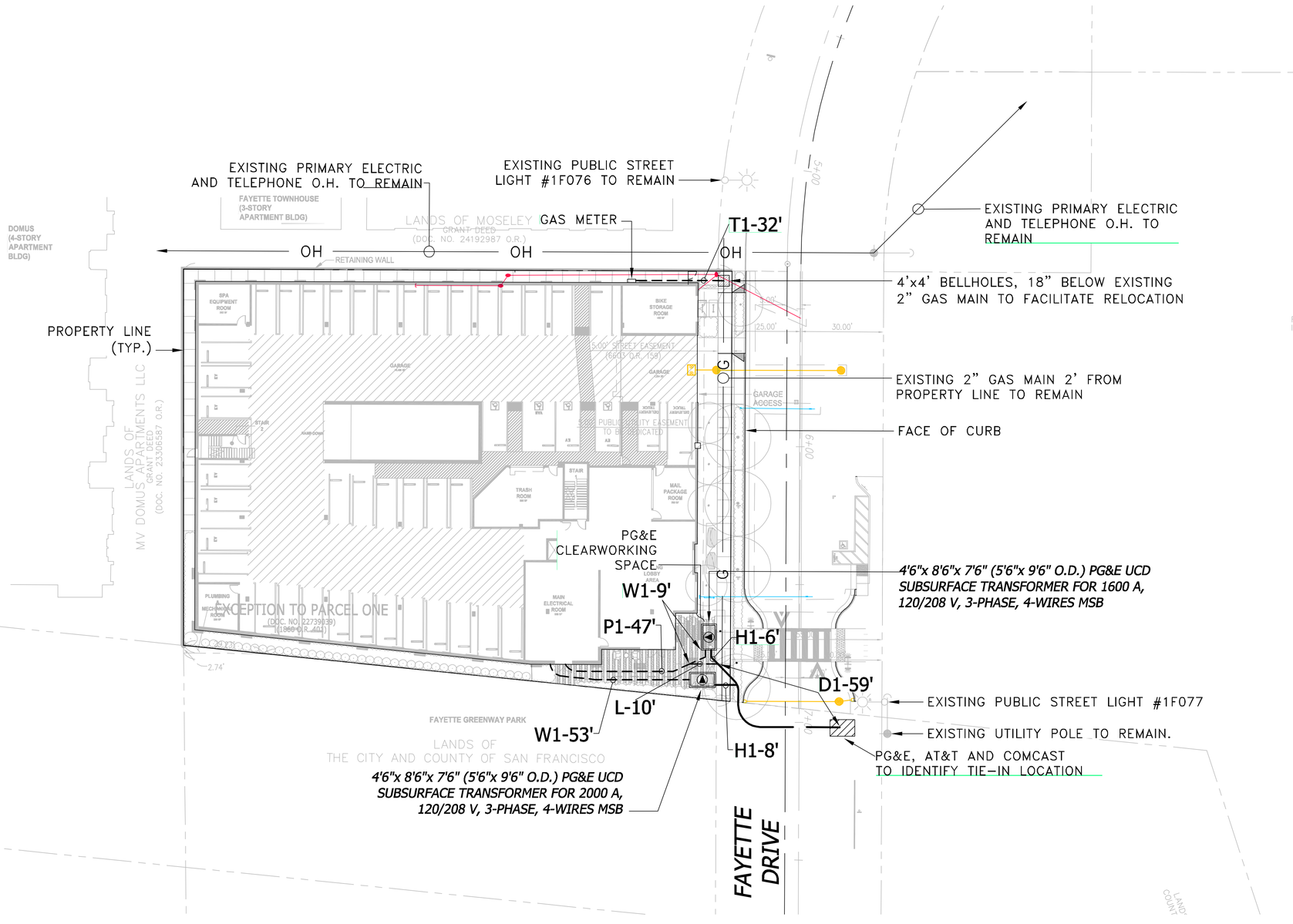
JOINT UTILITY TRENCH SECTION LEGEND

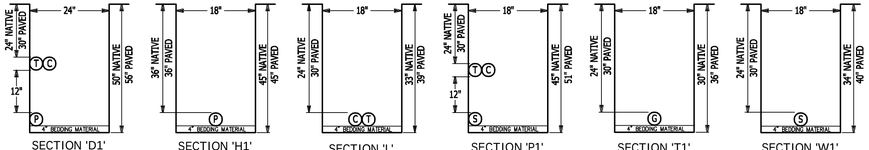
NOTE:

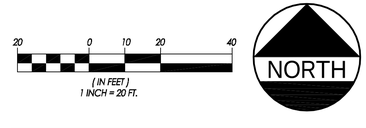
TRENCH SECTIONS SHOW UTILITY OCCUPANCY ONLY. SIZE AND QUANTITY OF CONDUITS NOT SHOWN.

CONSTRUCTION NOTE:

DO NOT BURY OR ENCASE CONDUIT, SUBSTRUCTURES OR GROUNDING WITHOUT PG&E INSPECTION







CONSTRUCTION/INSTALLATION RESPONSIBILITY TABLE

DRY UTILITY (JOINT TRENCH) INSTALLATION FOR THIS PROJECT SHALL BE: FULL APPLICANT INSTALL / SHARED INSTALL

	P.G.&E	APPLICANT
* ELEC SUBSTRUCTURES INCLUDING BOXES/PADS/CONDUIT	○	◉
* ELEC FACILITIES INCLUDING TRANSFORMERS/SWITCHES/WIRE	◉	○
* GAS PIPE/MATERIALS/RISERS	○	◉

ADDITIONAL NOTES:

* APPLICANT WILL TRENCH & BACKFILL ALL.
* PG&E WILL MAKE ALL "HOT" TIE-INS & SET ALL METERS.
* APPLICANT WILL INSTALL ALL TELEPHONE BOXES & CONDUIT.
* TELEPHONE COMPANY WILL INSTALL ALL TELEPHONE WIRE.
* INSTALLATION OF CATV BOXES & CONDUIT BY CATV, OR APPLICANT, TO BE DETERMINED AT THE PRE-CONSTRUCTION MEETING. IF BY APPLICANT, CATV COMPANY TO DELIVER SUBSTRUCTURE MATERIAL TO THE JOBSITE. JT CONTRACTOR & CATV COMPANY TO COORDINATE DELIVERY.

NOTE:

-PRELIMINARY PLANS-
NOT FOR CONSTRUCTION

NOTE:

PLEASE VERIFY THE SERVICE POINTS ON THIS PLAN MATCH YOUR CURRENT DESIGN. IF THERE ARE DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE @ 925-820-8502

millennium
DESIGN & CONSULTING, inc.
UTILITY DESIGN & CONSULTING - APPLICANT DESIGN - STREET LIGHTING
P.O. BOX 737
ALAMO, CA 94507
PHONE: 925-820-8502 - FAX: 925-820-8407

MDCI JOB#:	22-1498
MDCI PM:	KS
DESIGNED BY:	NK
CHECKED BY:	KS
SCALE:	1"=20'
LAST MODIFIED:	10-5-23

DESCRIPTION | DATE | REV

OCTANE FAYETTE, LLC.

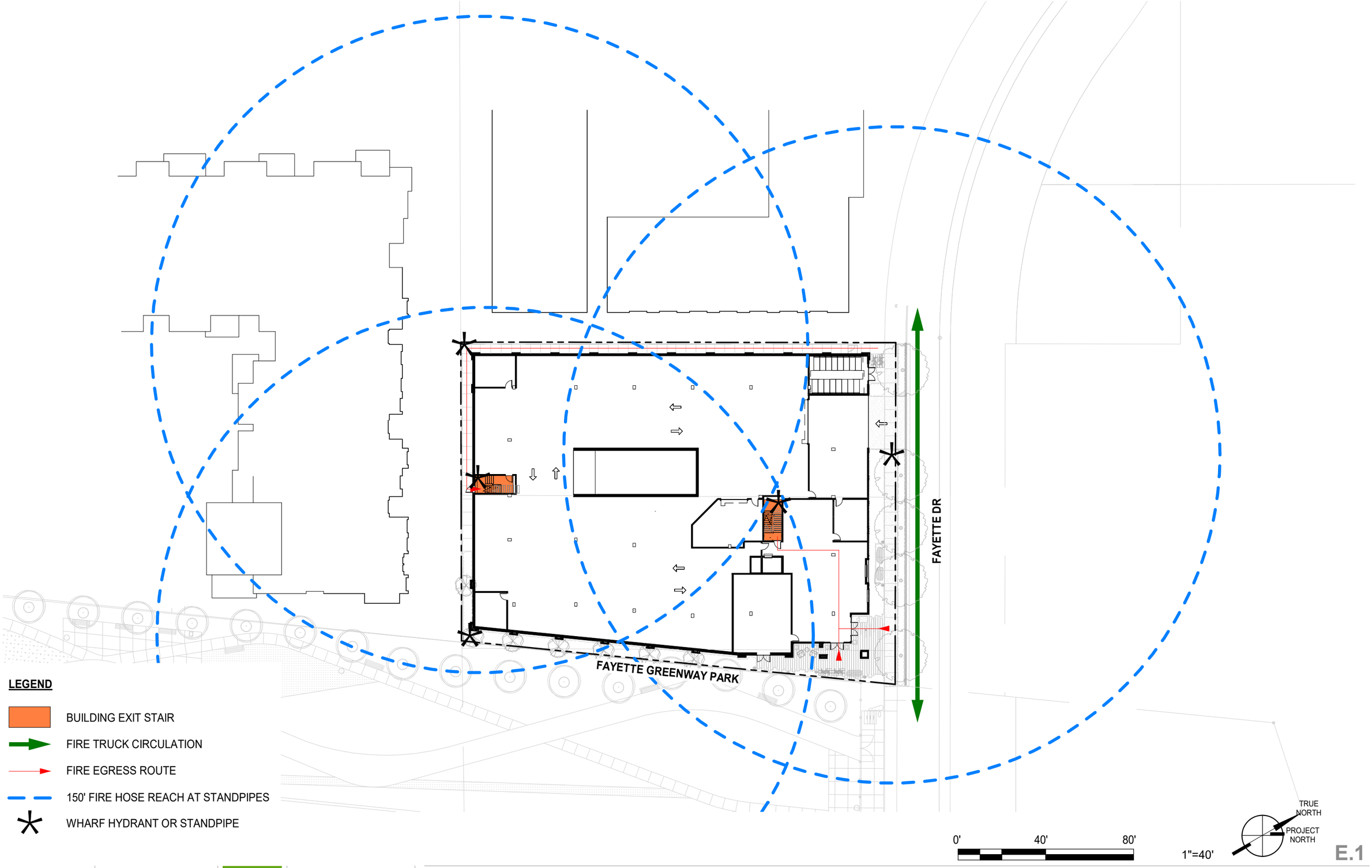
JOINT TRENCH CONCEPTUAL COMPOSITE
2645 FAYETTE DRIVE
MOUNTAIN VIEW CALIFORNIA

SHEET NO.
JTC1

SHEET 1 OF 1

REVISION NUMBER: 0

PLOT DATE: 10-5-23

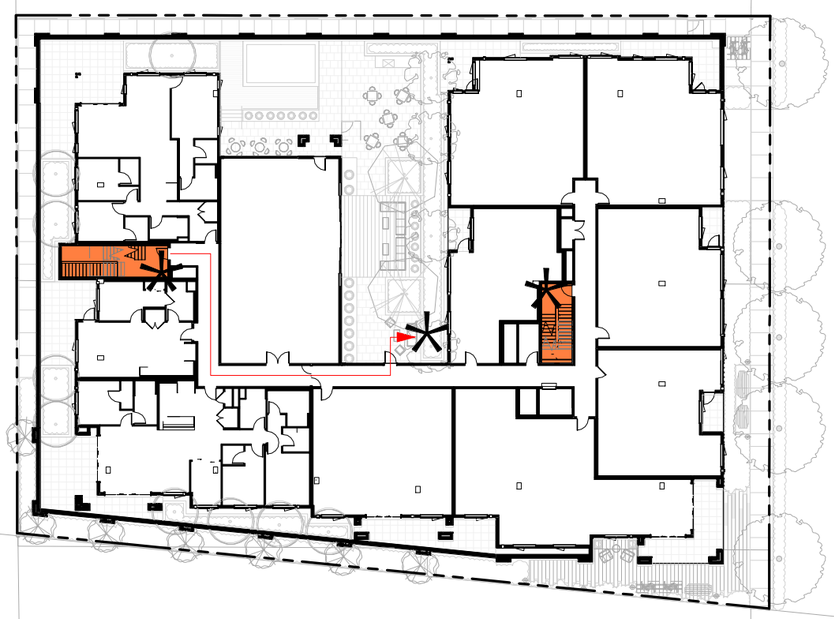


E.1

OCTANE FAYETTE

FIRE EXHIBIT - FLOOR 1

OCTOBER 6, 2023



LEGEND

- BUILDING EXIT STAIR
- FIRE TRUCK CIRCULATION
- FIRE EGRESS ROUTE
- 150' FIRE HOSE REACH AT STANDPIPES
- WHARF HYDRANT OR STANDPIPE

0' 10' 21' 32'

3/64"=1'

TRUE NORTH

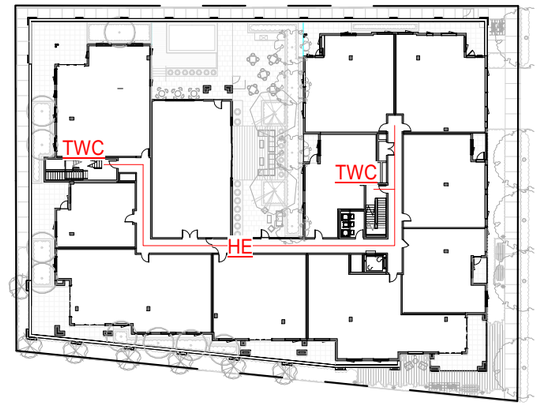
PROJECT NORTH

E.2

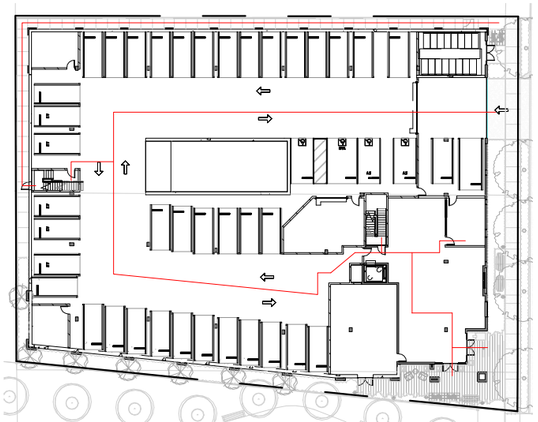
OCTANE FAYETTE

FIRE EXHIBIT - FLOOR 2

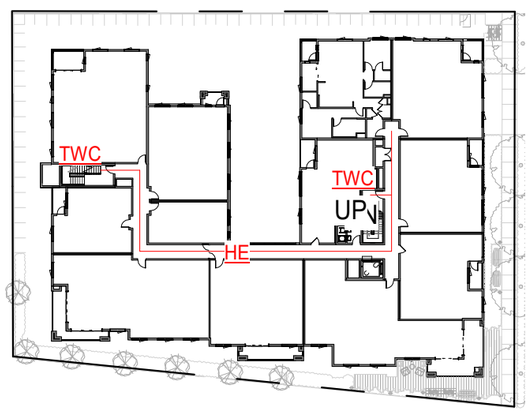
OCTOBER 6, 2023



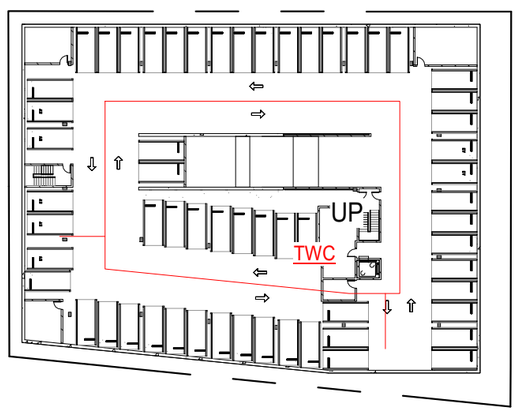
FLOOR 2



FLOOR 1 - LEVEL OF DISCHARGE



FLOORS 3 - 7



BASEMENT

ACCESSIBLE PATH OF EGRESS

HE HORIZONTAL EXIT

TWC TWO-WAY COMMUNICATIONS

0' 60' 120'

1"=60'

TRUE NORTH

PROJECT NORTH

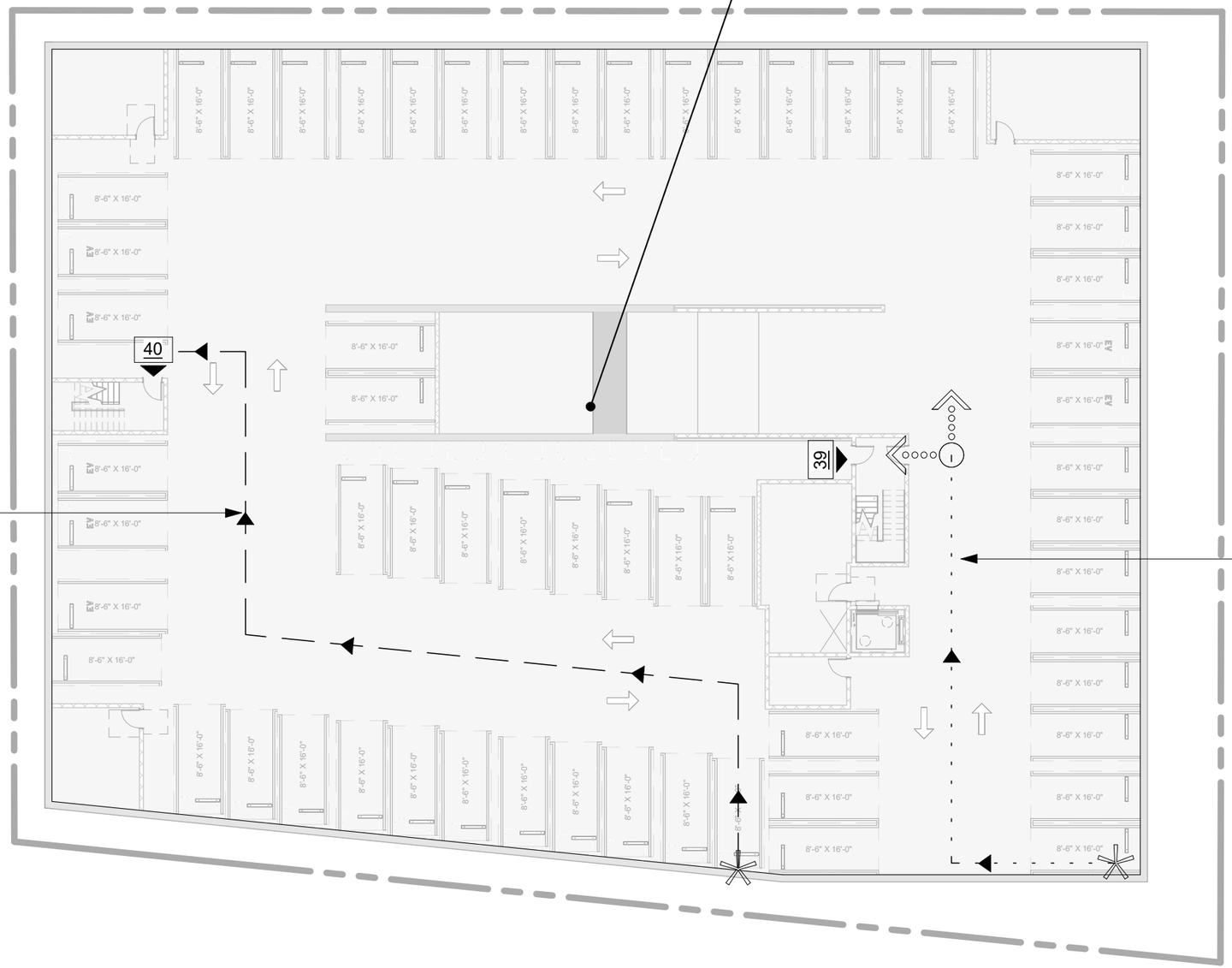
E.3

OCTANE FAYETTE

ACCESSIBILITY DIAGRAMS

OCTOBER 6, 2023

		GARAGE
AREA		23,529 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	S-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	300 GROSS
OCCUPANT LOAD		79



EXIT ACCESS TRAVEL DISTANCE = 176'-3"
MAX EXIST ACCESS TRAVEL DISTANCE (CBC TABLE 1017.2) = 400'-0" (S-2)

COMMON PATH OF EGRESS TRAVEL = 94'-0"
MAX COMMON PATH OF EGRESS TRAVEL (CBC TABLE 1017.2) = 100'-0" (S-2)

TRUE NORTH
PROJECT NORTH

E.4

OCTANE | 3DE ARCHITECTURE | TGP | KIER+WRIGHT

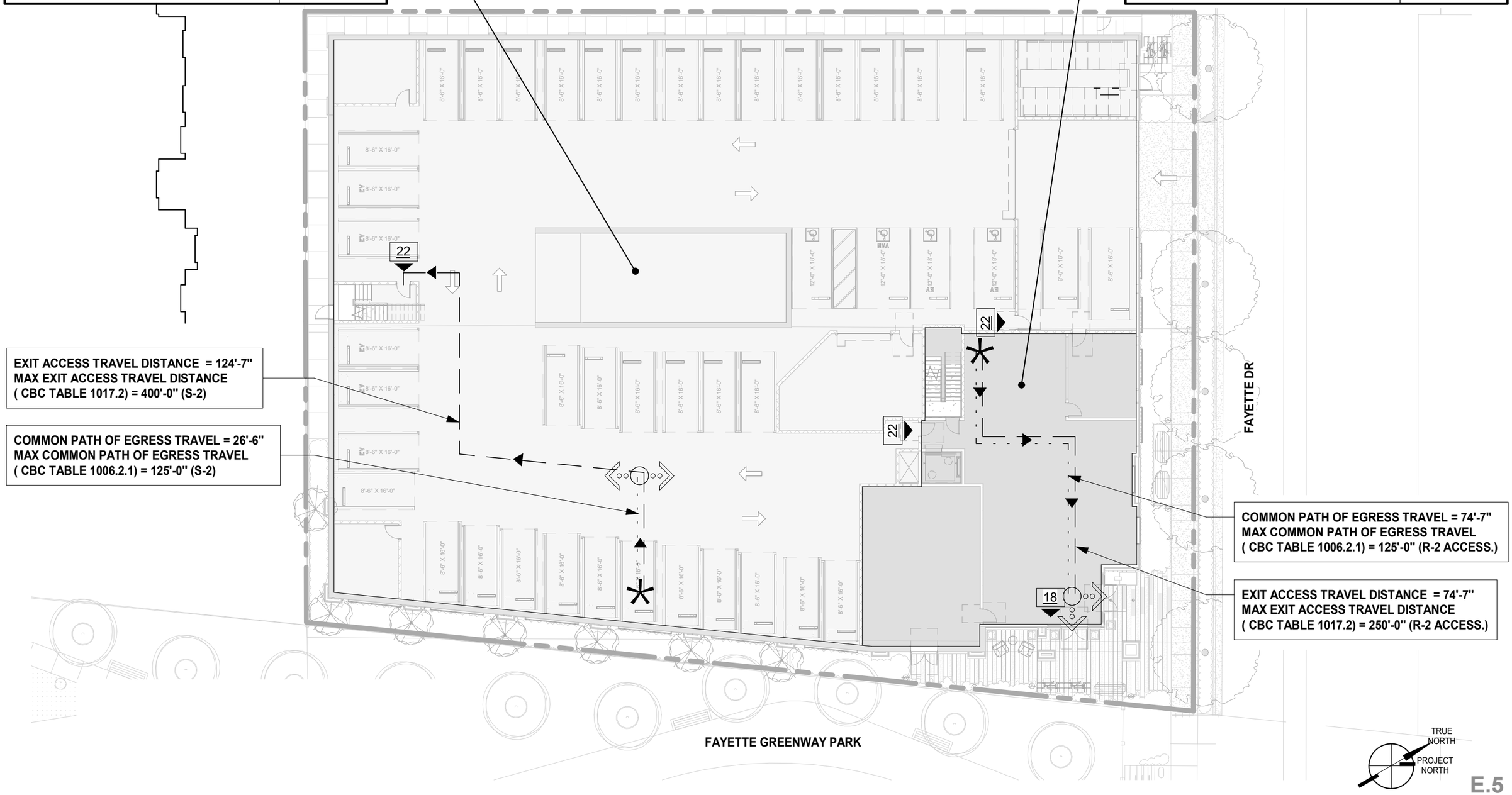
OCTANE FAYETTE

EGRESS ANALYSIS - BASEMENT

OCTOBER 6, 2023

PRIMARY USE		GARAGE
AREA		19,750 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	S-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	300 GROSS
OCCUPANT LOAD		66

		LOBBY & MAIL ROOM
AREA		3,533 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	R-2 ACCESS.
OCCUPANT LOAD FACTOR	TABLE 1004.5	200 GROSS
OCCUPANT LOAD		18



EXIT ACCESS TRAVEL DISTANCE = 124'-7"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 400'-0" (S-2)

COMMON PATH OF EGRESS TRAVEL = 26'-6"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0" (S-2)

COMMON PATH OF EGRESS TRAVEL = 74'-7"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0" (R-2 ACCESS.)

EXIT ACCESS TRAVEL DISTANCE = 74'-7"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 250'-0" (R-2 ACCESS.)

TRUE NORTH
PROJECT NORTH

E.5

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

EGRESS ANALYSIS - FLOOR 1

OCTOBER 6, 2023

ACCESSORY		CLUB ROOM
AREA		1,670 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	A
OCCUPANT LOAD FACTOR	TABLE 1004.5	15 NET
OCCUPANT LOAD		112

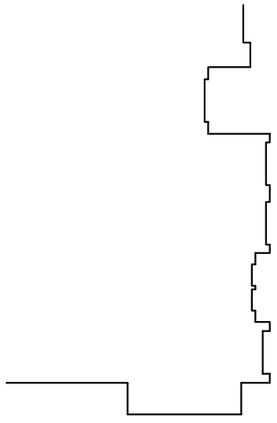
ACCESSORY		COURTYARD (FLOOR 2 ONLY)
AREA		2,261 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	A
OCCUPANT LOAD FACTOR	TABLE 1004.5	15 NET
OCCUPANT LOAD		151

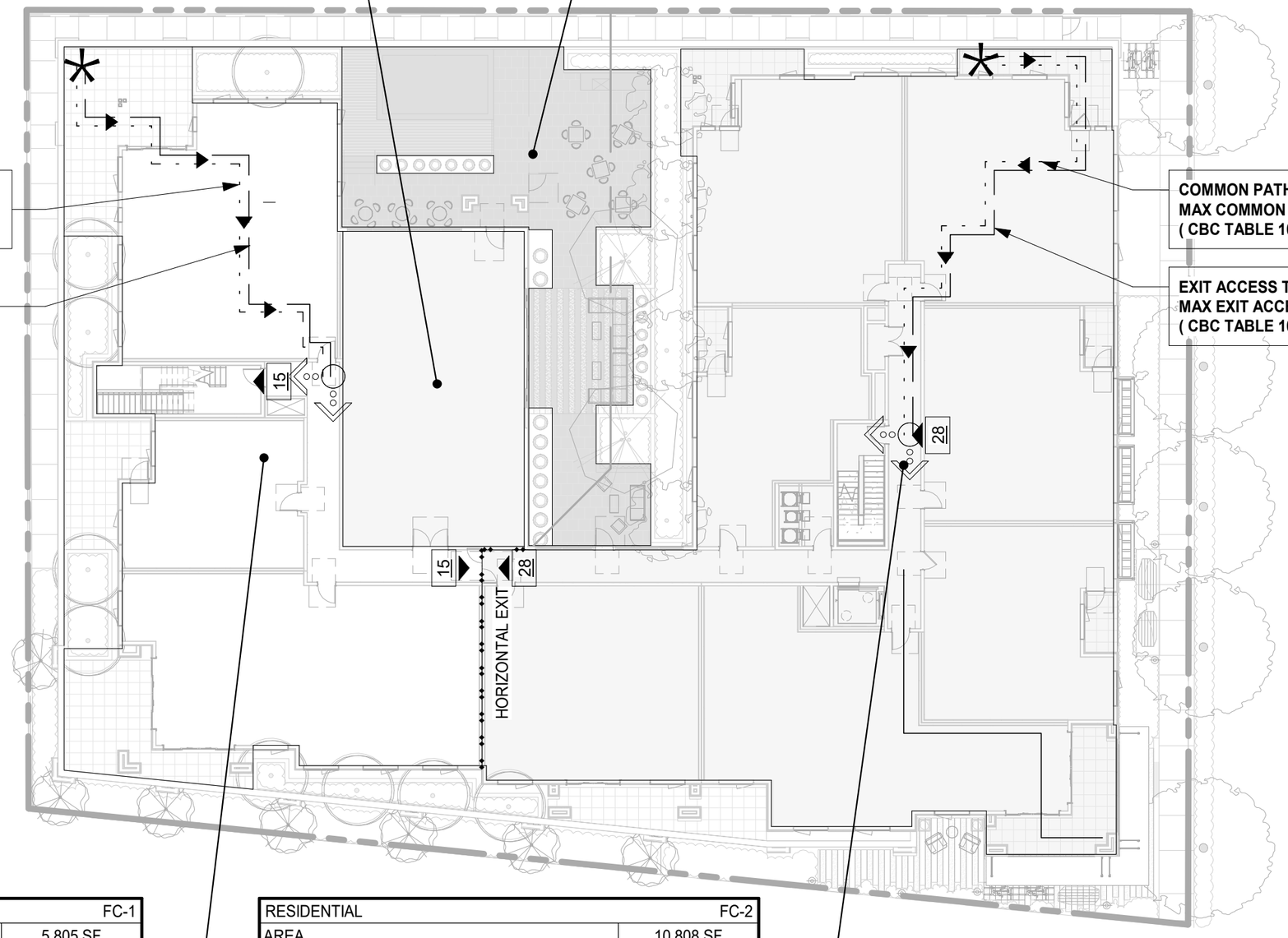
COMMON PATH OF EGRESS TRAVEL = 94'-10"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0"

EXIT ACCESS TRAVEL DISTANCE = 94'-10"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 250'-0"

COMMON PATH OF EGRESS TRAVEL = 108'-3"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0"

EXIT ACCESS TRAVEL DISTANCE = 108'-3"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 250'-0"





RESIDENTIAL		FC-1
AREA		5,805 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	R-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	200 GROSS
OCCUPANT LOAD		30

RESIDENTIAL		FC-2
AREA		10,808 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	R-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	200 GROSS
OCCUPANT LOAD		55

0' 10' 21' 32'

3/64"=1'

TRUE NORTH
PROJECT NORTH

E.6

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

EGRESS ANALYSIS - FLOOR 2

OCTOBER 6, 2023

RESIDENTIAL		FC-2
AREA		10,695 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	R-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	200 GROSS
OCCUPANT LOAD		54

COMMON PATH OF EGRESS TRAVEL = 77'-5"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0"

EXIT ACCESS TRAVEL DISTANCE = 77'-5"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 250'-0"

COMMON PATH OF EGRESS TRAVEL = 86'-0"
MAX COMMON PATH OF EGRESS TRAVEL
(CBC TABLE 1006.2.1) = 125'-0"

EXIT ACCESS TRAVEL DISTANCE = 86'-0"
MAX EXIT ACCESS TRAVEL DISTANCE
(CBC TABLE 1017.2) = 250'-0"

18

27

18

27

HORIZONTAL EXIT

RESIDENTIAL		FC-1
AREA		6,828 SF
OCCUPANCY CLASSIFICATION	SECTION 302.1	R-2
OCCUPANT LOAD FACTOR	TABLE 1004.5	200 GROSS
OCCUPANT LOAD		35

0' 10' 21' 32'

3/64"=1'

TRUE NORTH

PROJECT NORTH

E.7

OCTANE FAYETTE

EGRESS ANALYSIS - FLOOR 3-7

OCTOBER 6, 2023

GARAGE	TYPE I-A
FLOOR AREA ALLOWED	UNLIMITED
TOTAL FLOOR AREA PROPOSED	23,529 SF

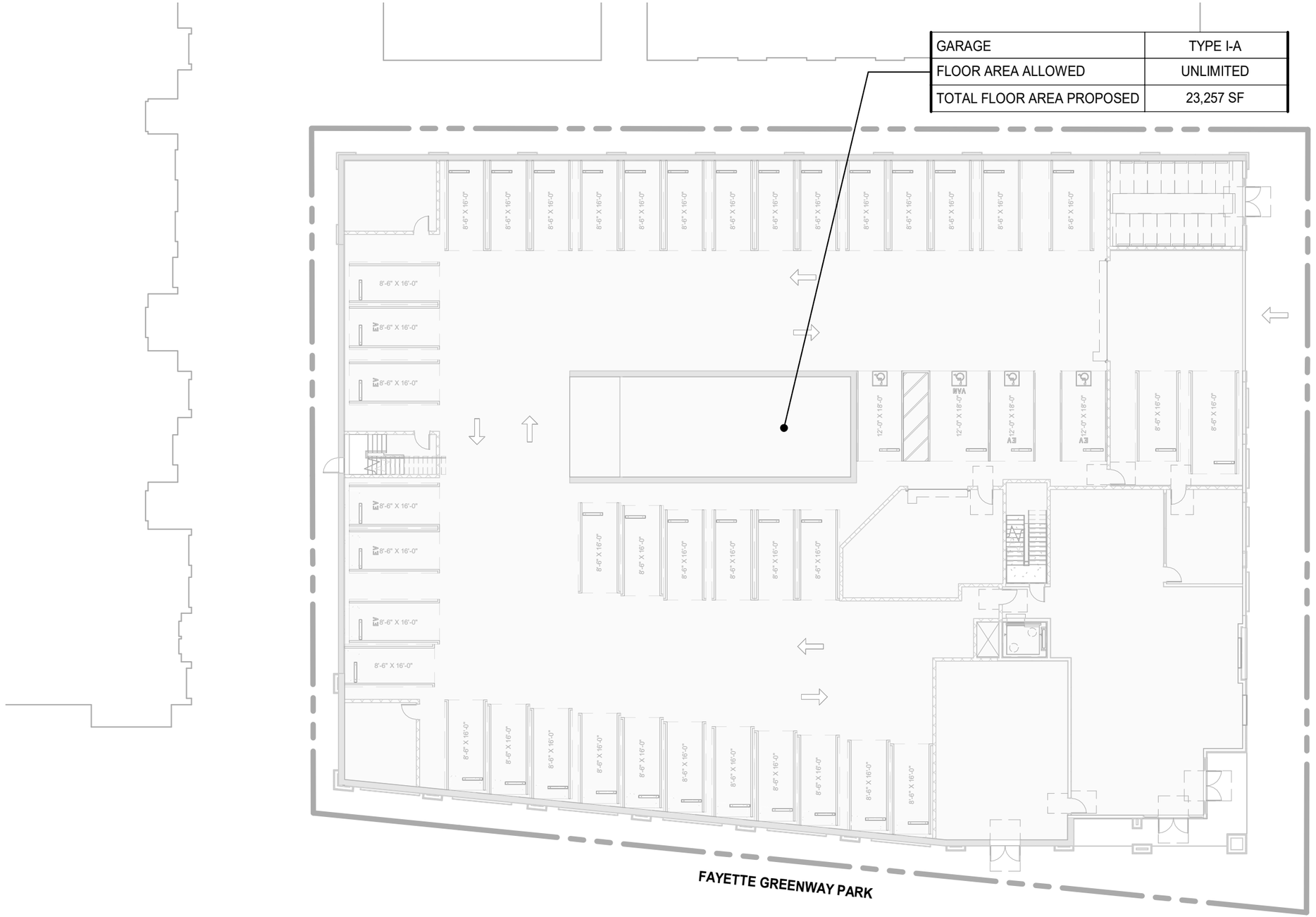
E.8

OCTANE FAYETTE

ALLOWABLE AREAS - BASEMENT

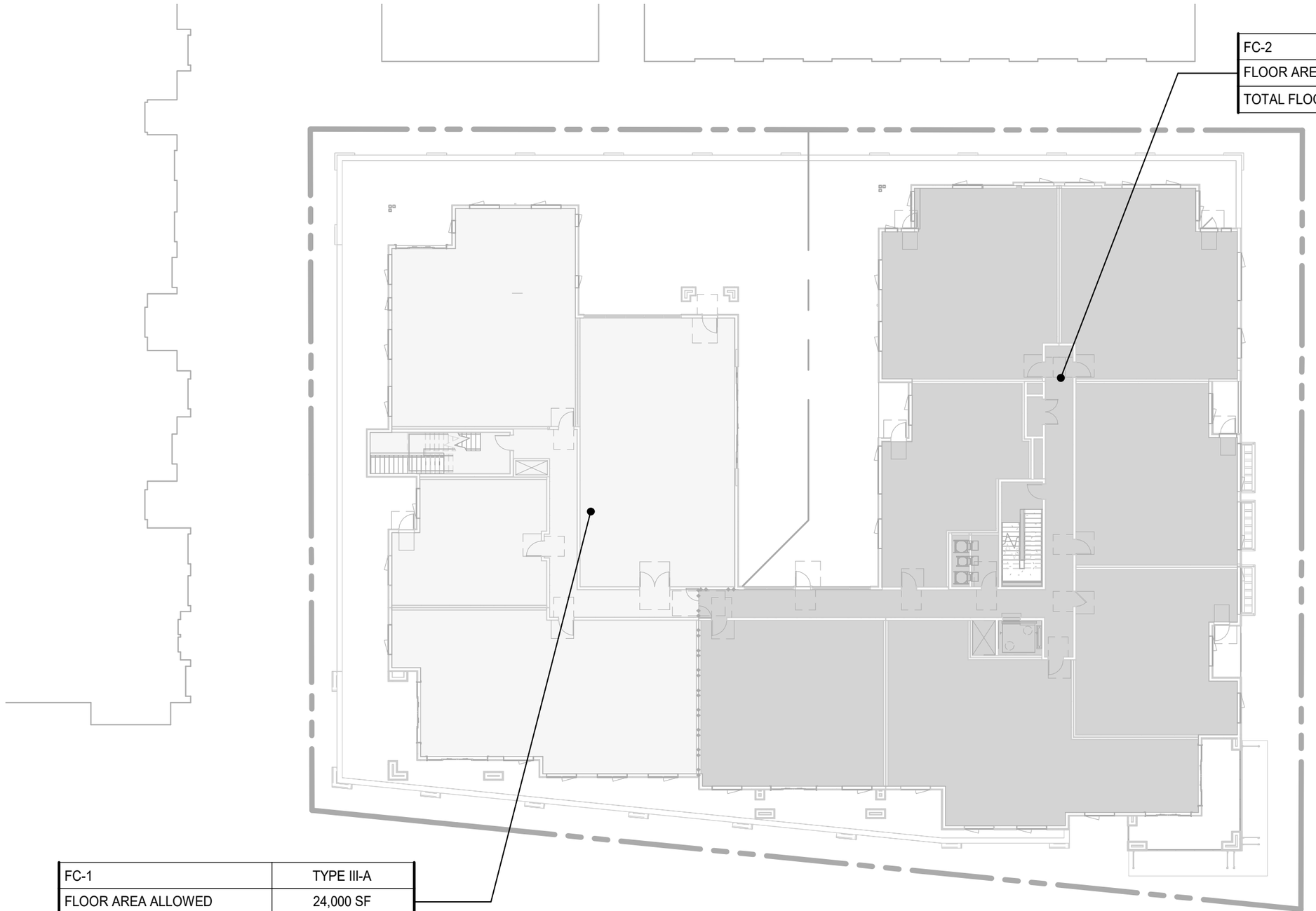
OCTOBER 6, 2023

GARAGE	TYPE I-A
FLOOR AREA ALLOWED	UNLIMITED
TOTAL FLOOR AREA PROPOSED	23,257 SF



TRUE NORTH
PROJECT NORTH

E.9



FC-2	TYPE III-A
FLOOR AREA ALLOWED	24,000 SF
TOTAL FLOOR AREA PROPOSED	9,889 SF

FC-1	TYPE III-A
FLOOR AREA ALLOWED	24,000 SF
TOTAL FLOOR AREA PROPOSED	6,479 SF

TRUE NORTH

PROJECT NORTH

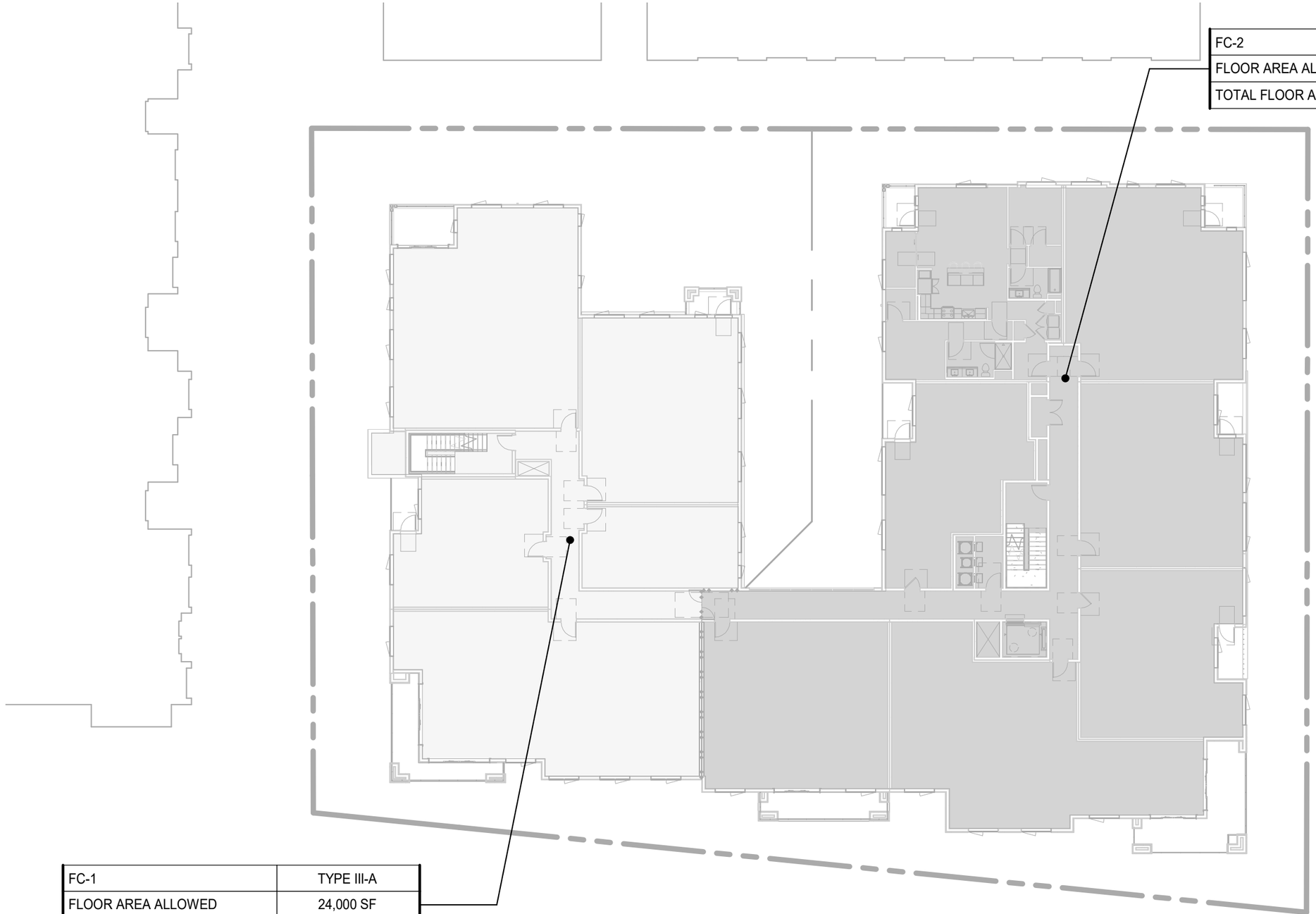
E.10

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

ALLOWABLE AREAS - FLOOR 2

OCTOBER 6, 2023



FC-2	TYPE III-A
FLOOR AREA ALLOWED	24,000 SF
TOTAL FLOOR AREA PROPOSED	9,889 SF

FC-1	TYPE III-A
FLOOR AREA ALLOWED	24,000 SF
TOTAL FLOOR AREA PROPOSED	6,479 SF

TRUE NORTH

PROJECT NORTH

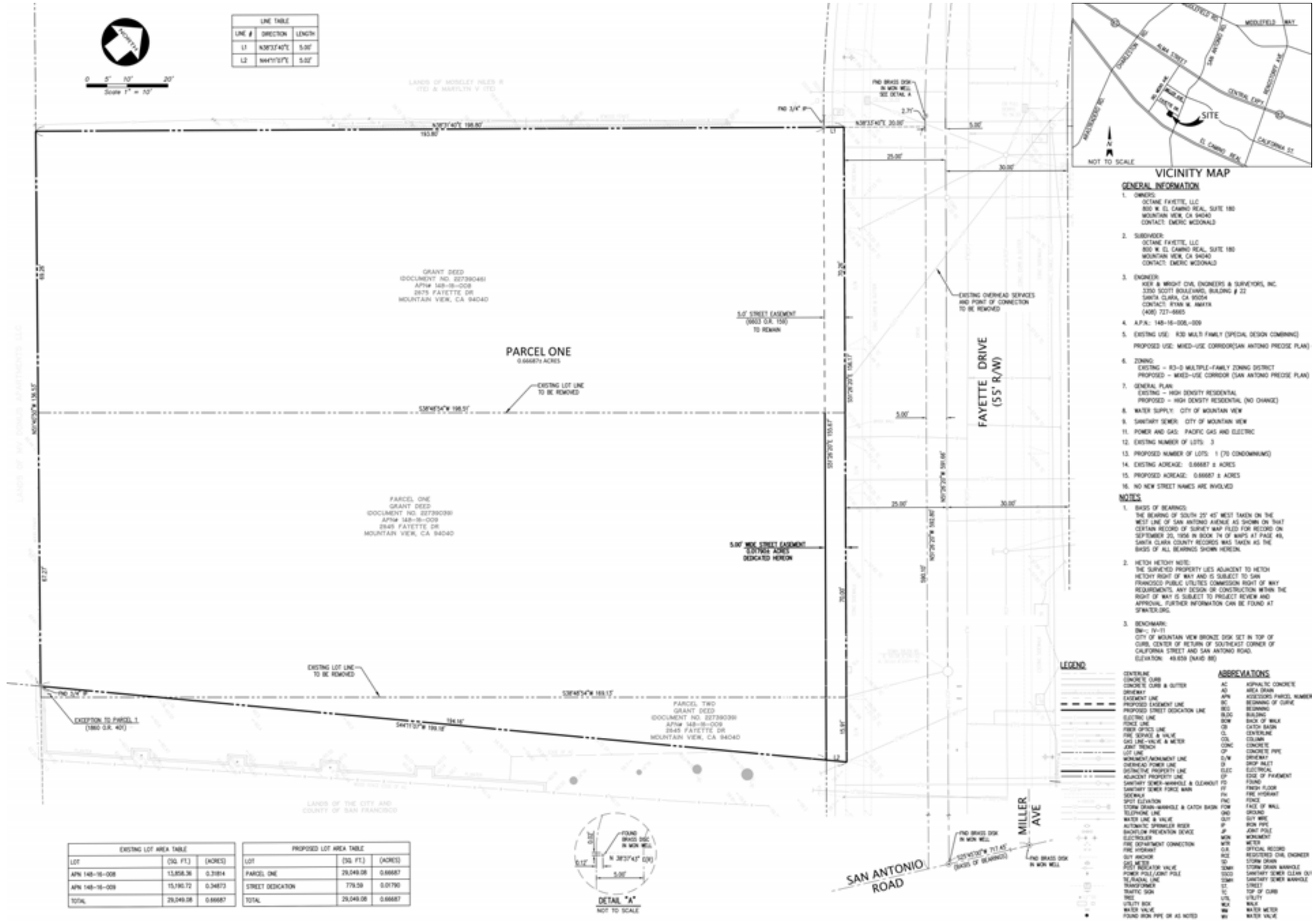
E.11

OCTANE | BDE ARCHITECTURE | TGP | KIER+WRIGHT

OCTANE FAYETTE

ALLOWABLE AREAS - FLOORS 3 - 7

OCTOBER 6, 2023



VICINITY MAP

EXISTING LOT AREA TABLE		
LOT	(SQ. FT.)	(ACRES)
APN 148-16-008	13,858.36	0.31814
APN 148-16-009	15,190.72	0.34873
TOTAL	29,049.08	0.66687

PROPOSED LOT AREA TABLE		
LOT	(SQ. FT.)	(ACRES)
PARCEL ONE	29,049.08	0.66687
STREET DEDICATION	779.59	0.01790
TOTAL	29,049.08	0.66687

GENERAL INFORMATION

1. OWNERS:
   OCTANE FAYETTE, LLC
   800 W. EL CAMINO REAL, SUITE 180
   MOUNTAIN VIEW, CA 94040
   CONTACT: EMERIC MCDONALD
2. SUBDIVIDER:
   OCTANE FAYETTE, LLC
   800 W. EL CAMINO REAL, SUITE 180
   MOUNTAIN VIEW, CA 94040
   CONTACT: EMERIC MCDONALD
3. ENGINEER:
   KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
   3350 SCOTT BOULEVARD, BUILDING # 22
   SANTA CLARA, CA 95054
   CONTACT: RYAN M. HARTH
   (408) 727-6665
4. A.P.N.: 148-16-008,-009
5. EXISTING USE: R3D MULTI FAMILY (SPECIAL DESIGN COMBINING)
   PROPOSED USE: MIXED-USE CORRIDOR(SAN ANTONIO PRECISE PLAN)
6. ZONING:
   EXISTING – R3-D MULTIPLE-FAMILY ZONING DISTRICT
   PROPOSED – MIXED-USE CORRIDOR (SAN ANTONIO PRECISE PLAN)
7. GENERAL PLAN:
   EXISTING – HIGH DENSITY RESIDENTIAL
   PROPOSED – HIGH DENSITY RESIDENTIAL (NO CHANGE)
8. WATER SUPPLY: CITY OF MOUNTAIN VIEW
9. SANITARY SEWER: CITY OF MOUNTAIN VIEW
11. POWER AND GAS: PACIFIC GAS AND ELECTRIC
12. EXISTING NUMBER OF LOTS: 3
13. PROPOSED NUMBER OF LOTS: 1 (70 CONDOMINIUMS)
14. EXISTING ACREAGE: 0.66687 ± ACRES
15. PROPOSED ACREAGE: 0.66687 ± ACRES
16. NO NEW STREET NAMES ARE INVOLVED

NOTES

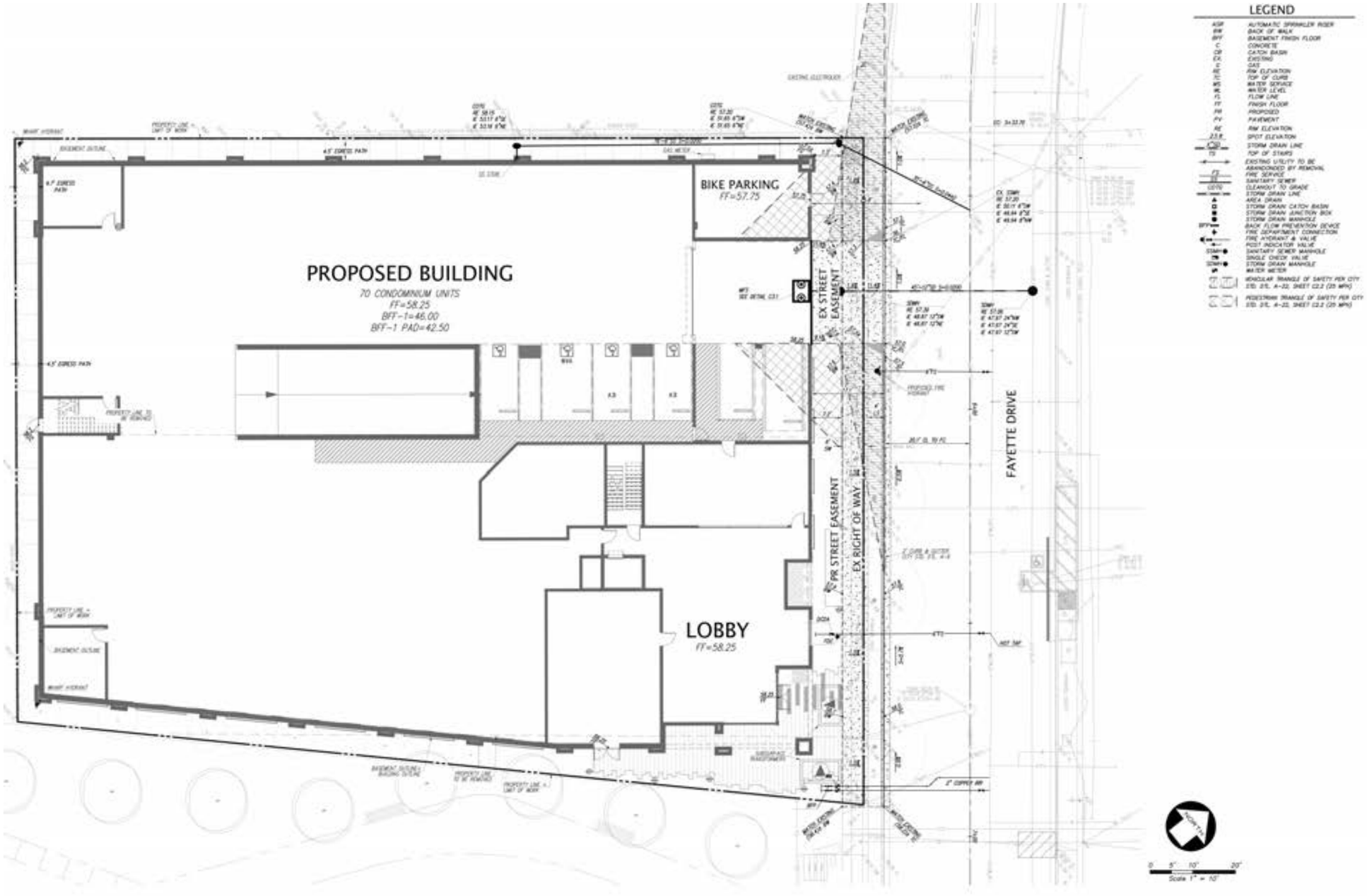
1. BASIS OF BEARINGS:
   THE BEARING OF SOUTH 25° 45' WEST TAKEN ON THE WEST LINE OF SAN ANTONIO AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED FOR RECORD ON SEPTEMBER 20, 1956 IN BOOK 74 OF MAPS AT PAGE 49, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
2. HETCH HETCHY NOTE:
   THE SURVEYED PROPERTY LIES ADJACENT TO HETCH HETCHY RIGHT OF WAY AND IS SUBJECT TO SAN FRANCISCO PUBLIC UTILITIES COMMISSION RIGHT OF WAY REQUIREMENTS. ANY DESIGN OR CONSTRUCTION WITHIN THE RIGHT OF WAY IS SUBJECT TO PROJECT REVIEW AND APPROVAL. FURTHER INFORMATION CAN BE FOUND AT SFWATER.ORG.
3. BENCHMARK:
   BM=; IV-11
   CITY OF MOUNTAIN VIEW BRONZE DISK SET IN TOP OF CURB, CENTER OF RETURN OF SOUTHEAST CORNER OF CALIFORNIA STREET AND SAN ANTONIO ROAD.
   ELEVATION: 49.659 (NAVD 88)

LEGEND

CENTERLINE
CONCRETE CURB
CONCRETE CURB & GUTTER
DRIVEWAY
EASEMENT LINE
PROPOSED EASEMENT LINE
PROPOSED STREET DEDICATION LINE
ELECTRIC LINE
FENCE LINE
FIBER OPTICS LINE
FIRE SERVICE & VALVE
GAS LINE-VALVE & METER
JOINT TRENCH
LOT LINE
MONUMENT/MONUMENT LINE
OVERHEAD POWER LINE
DISTINCTIVE PROPERTY LINE
ADJACENT PROPERTY LINE
SANITARY SEWER-MANHOLE & CLEANOUT
SANITARY SEWER FORCE MAIN
SIDEWALK
SPOT ELEVATION
STORM DRAIN-MANHOLE & CATCH BASIN
TELEPHONE LINE
WATER LINE & VALVE
AUTOMATIC SPRINKLER RISER
BACKFLOW PREVENTION DEVICE
ELECTROLIER
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
GUY ANCHOR
GAS METER
POST INDICATOR VALVE
POWER POLE/LIGHT POLE
TELEPHONE LINE
TRANSFORMER
TRAFFIC SIGN
TREE
UTILITY BOX
WATER VALVE
FOUND IRON PIPE OR AS NOTED

ABBREVIATIONS

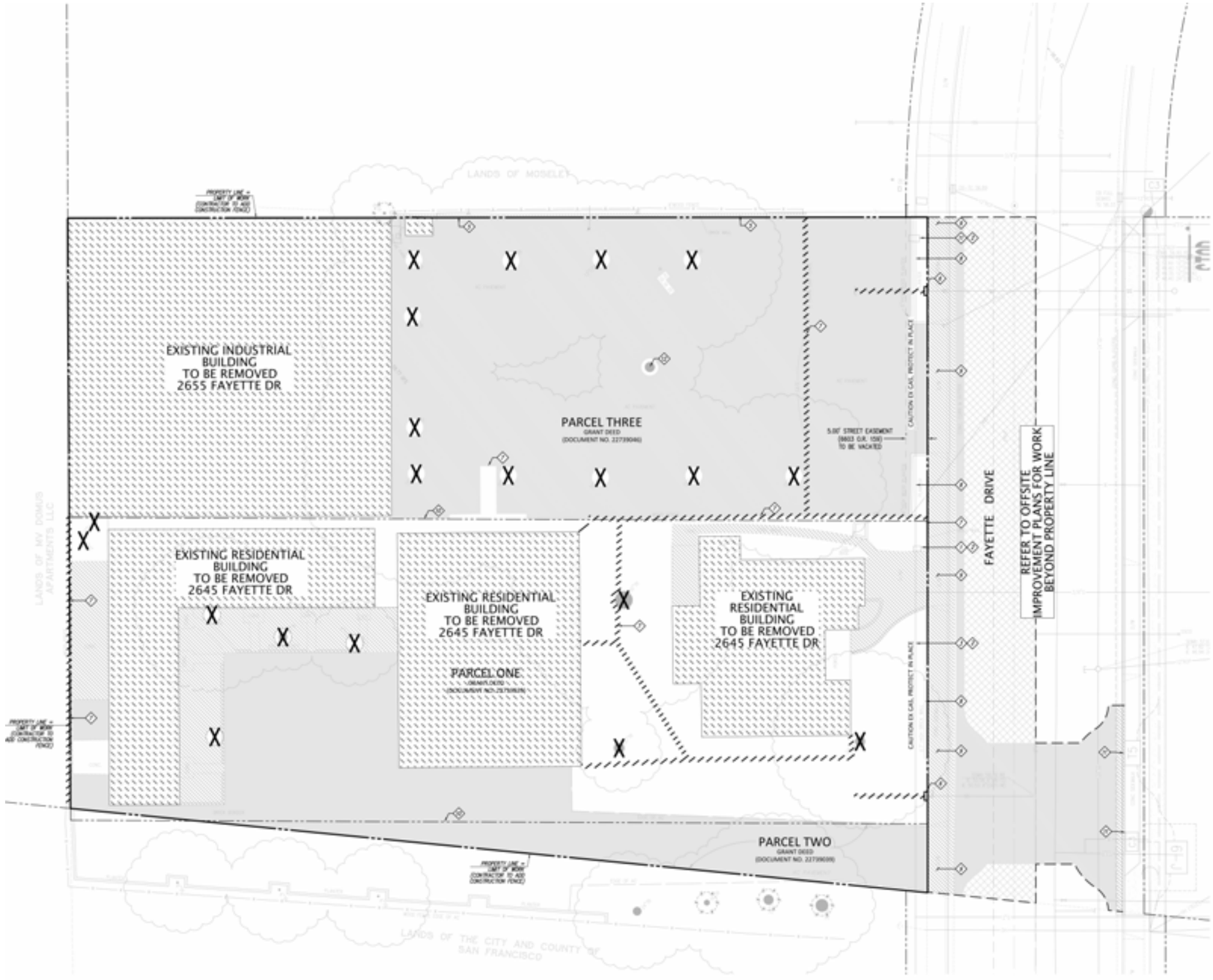
AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
APN	ASSESSORS PARCEL NUMBER
BC	BEGINNING OF CURVE
BEG	BEGINNING
BLDG	BUILDING
BOW	BACK OF WALK
CB	CATCH BASIN
CL	CENTERLINE
COL	COLUMN
CONC	CONCRETE
CP	CONCRETE PIPE
D/W	DRIVEWAY
DI	DROP INLET
ELEC	ELECTRICAL
EP	EDGE OF PAVEMENT
FD	FOUND
FF	FINISH FLOOR
FH	FIRE HYDRANT
FNC	FENCE
FOW	FACE OF WALL
GND	GROUND
GUY	GUY WIRE
IP	IRON PIPE
JP	JOINT POLE
MON	MONUMENT
MTR	METER
O.R.	OFFICIAL RECORD
RCE	REGISTERED CIVIL ENGINEER
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
ST	STREET
TC	TOP OF CURB
TYP	TYPICAL
UTIL	UTILITY
WLK	WALK
WM	WATER METER
WV	WATER VALVE



OCTANE FAYETTE

VESTING TENTATIVE PARCEL MAP

10/05/23



DEMOLITION NOTES

1. ALL BACKFILLING OF THE FOOTING, EXCAVATION, TRENCHING, HOLES, OVER EXCAVATION, ETC. DURING CONSTRUCTION SHALL BE BACKFILLED AND RECOMPACTED TO 90% RELATIVE COMPACTION PER ASTM D-1557, LATEST EDITION, AND SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND APPROVAL. THE COMPACTION OF ALL EXCAVATIONS GREATER THAN 5 FEET IN DEPTH SHALL BE 90% RELATIVE COMPACTION OR PER THE GEOTECHNICAL ENGINEER'S REQUIREMENTS.
2. ANY UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED PER THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY AND AS APPROVED BY THE CITY OF MOUNTAIN VIEW STANDARDS AND REQUIREMENTS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE GEOTECHNICAL ENGINEER 48 HOURS IN ADVANCE OF ANY GRADING AND FILLING OF THE SITE RELATING TO ANY DEMOLITION OR REMOVAL OF SITE FEATURES. ALL A.C. PAVEMENT, CONCRETE AND BASE ROCK SHALL BE CRUSHED, SALVAGED AND STOCKPILED FOR USE ON-SITE AS FILL MATERIAL. ALL REMOVAL, CRUSHING AND STOCKPILING SHALL BE INSPECTED, TESTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
4. IN GENERAL, FILL MATERIAL SHALL NOT CONTAIN CLUMPS LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION WITH NO MORE THAN 15% LARGER THAN 2.5 INCHES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT FROM DAMAGE THROUGHOUT THE COURSE OF CONSTRUCTION OF ALL BUILDINGS AND SITE FEATURES ITEMS SUCH AS, (BUT NOT LIMITED TO) CATCH BASINS, CONDUIT, TELEPHONE AND POWER POLES, FENCING, RETAINING WALLS, GAS LINES, OIL LINES, GASOLINE LINES, FIRE AND WATER SERVICE ASSEMBLIES, CONCRETE CURB, GUTTER AND SIDEWALK, TREES, BUSHES AND PLANT MATERIAL, ETC. BOTH ON-SITE AND OFF-SITE. THE CONTRACTOR SHALL PROVIDE ALL REPAIRS, MAINTENANCE, SHORING, SUPPORT, ETC. TO MAINTAIN ALL FEATURES DESIGNATED TO REMAIN IF DAMAGED. NOTIFY ARCHITECT/ENGINEER IF ANY DISCREPANCIES EXIST OR IF CLARIFICATIONS ARE REQUIRED.
6. NO BURNING SHALL BE ALLOWED WITHOUT THE PERMISSION OF THE AIR POLLUTION CONTROL DISTRICT. DISPOSE OF ALL MATERIAL IN ACCORDANCE WITH ACCEPTED SAFETY STANDARDS DESCRIBED BY AUTHORITIES HAVING JURISDICTION. NO PILING OR BURNING OF ANY MATERIAL WILL BE PERMITTED WITHIN AREAS OF 90% COMPACTION.
7. COMPLY WITH ALL APPLICABLE REGULATIONS AND SAFETY ORDERS IN EFFECT AT THE CONSTRUCTION SITE. PROTECT OPEN EXCAVATION, TRENCHES, ETC., WITH FENCES, COVERS, OR RAILINGS AS REQUIRED TO MAINTAIN SAFE PEDESTRIAN AND VEHICLE TRAFFIC; MAINTAIN DESIGNATED SITE ACCESS FOR VEHICLE AND PEDESTRIAN TRAFFIC.
8. WHEN DUST CONDITIONS EXIST, DAMPEN THE AREAS TO PREVENT THE TRANSPORTATION OF DEBRIS INTO THE BUILDINGS AND ONTO ADJACENT PROPERTY.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE FINISHED CONDITION OF HIS WORK. BEFORE WORKING OVER BACKFILL OR SIMILAR WORK COMPLETED BY OTHER CONTRACTORS, VERIFY THAT SUCH WORK HAS BEEN PROPERLY BACKFILLED AND COMPACTED. NOTIFY THE ARCHITECT PROMPTLY IN WRITING IF ANY CONDITIONS DO NOT MEET THE PROPER STANDARDS. WITHOUT EXTRA COST TO THE OWNER, ALL FEATURES DAMAGED IN THE PERFORMANCE OF ALL WORK SHALL BE RESTORED TO THE SATISFACTION OF THE OWNER AND AUTHORITIES HAVING JURISDICTION.
10. THE GEOTECHNICAL INVESTIGATION FOR THIS SITE HAS BEEN PREPARED BY SILICON VALLEY SOIL ENGINEERING, PROJECT NO. SV13684, DATED APRIL 11, 2023. THIS REPORT REMAINS THE RESPONSIBILITY OF THE GEOTECHNICAL ENGINEER AND IS INCLUDED IN THE BID DOCUMENTS FOR THIS PROJECT. THE GEOTECHNICAL REPORT SHALL BE READ BY THE CONTRACTOR BEFORE SUBMISSION OF HIS BID. ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. THE OWNER WILL RETAIN THE GEOTECHNICAL ENGINEER TO INSURE CONFORMANCE WITH THE GEOTECHNICAL REPORT.
11. CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY INFORMED HIMSELF REGARDING REQUIREMENTS OF DRAWINGS, DOCUMENTS, AND APPLICABLE REGULATIONS PERTAINING TO THE PROJECT. DOCUMENTS, APPLICABLE REGULATIONS, AND DRAWINGS ARE COMPLEMENTARY. WHAT IS CALLED BY ONE IS AS BINDING AS IF CALLED FOR BY ALL. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH THE SITE AND COMPARE REQUIREMENTS OF THE DRAWINGS, DOCUMENTS, AND APPLICABLE REGULATIONS, WITH WORK TO BE PERFORMED BY THE CONTRACTOR, INCLUDING TOPOGRAPHY, APPROACHES AND IMPROVEMENTS ON OR ABOUT THE SITE.
12. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF DEMOLITION WORK, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ANY ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULE WILL BE THE SOLE AND COMPLETE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR TO PROVIDE ALL CONSTRUCTION BARRICADES REQUIRED BY GOVERNING AGENCIES AND APPLICABLE REGULATIONS.
14. NO TRENCHING DEEPER THAN 5 FEET SHALL BE ALLOWED WITHOUT THE CONTRACTOR OBTAINING A PERMIT FROM OSHA.

DEMOLITION LEGEND

- EXISTING BUILDING TO BE DEMOLISHED
- UNDERGROUND UTILITIES OR EXISTING FENCE TO BE REMOVED
- EXISTING AC PAVEMENT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- 2" AC HALF STREET GRIND AND OVERLAY
- SAWCUT
- PLUG AND CAP END
- TREE TO BE REMOVED
- EXISTING TREE TO BE PROTECTED IN PLACE

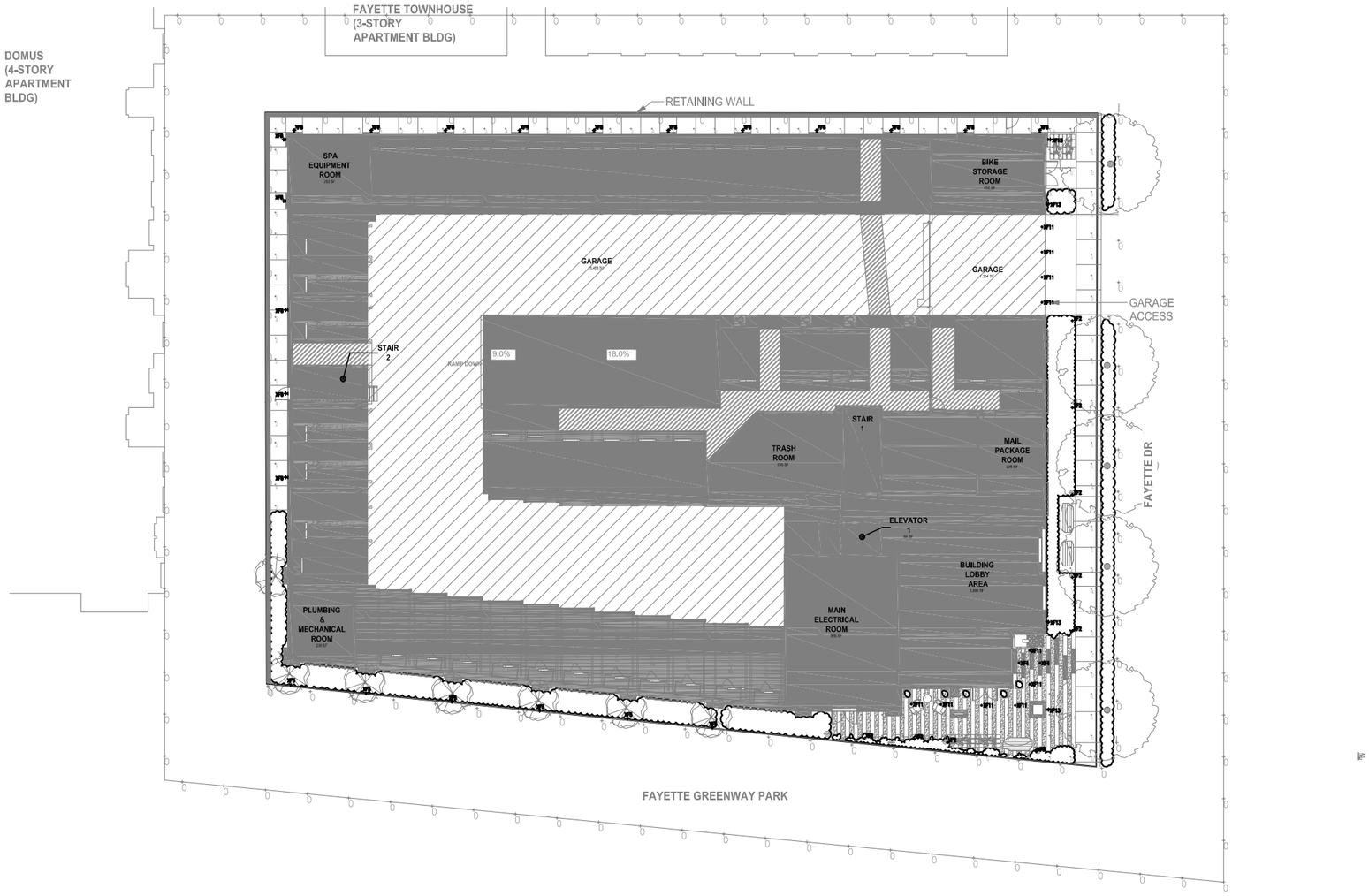
DEMOLITION KEYNOTES

1. ALL EXISTING ONSITE UTILITIES WITHIN THE DEVELOPED AREA INCLUDING WATERLINES, STORM DRAIN, SANITARY SEWER, ELECTRIC, GAS AND COMMUNICATION UTILITIES TO BE REMOVED FROM SITE AND CAPPED AT PROJECT BOUNDARY IN CONFORMANCE WITH THE RESPECTIVE UTILITY PURVEYOR REQUIREMENTS UNLESS SPECIFICALLY STATED OTHERWISE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE RESPECTIVE UTILITY PURVEYORS AND ARRANGE FOR THE TERMINATION OF ALL REQUIRED UTILITIES THAT SERVICE THE SITE.
2. CONTRACTOR TO PROTECT IN PLACE ALL EXISTING IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY, UNLESS NOTED OTHERWISE. DEMOLITION OF EXISTING IMPROVEMENT WITHIN PUBLIC RIGHT OF WAY TO BE DONE UNDER SEPARATE ENCROACHMENT PERMIT.
3. EXISTING JOINT TRENCH/FIBER OPTIC (CABLE TV, ELECTRIC, GAS TELEPHONE, ETC...) TO REMAIN. CONTRACTOR TO PROTECT IN PLACE AT ALL TIMES DURING DEMOLITION PROCESS. SEE JOINT TRENCH PLANS FOR DISPOSITION.
4. EXISTING NEIGHBORING PROPERTIES UTILITIES TO BE PROTECT IN PLACE.
5. PROTECT STRUCTURE/UTILITY IN PLACE
6. CUT, CAP, & INSTALL WITNESS MARKER SEE DETAIL 1 ON SHEET C1.2
7. REMOVE STRUCTURE OR UTILITY
8. REMOVE PLANTER BOXES
9. SIDEWALK & DRIVEWAY IN THE PUBLIC RIGHT OF WAY TO BE REMOVED
10. REMOVE PROPERTY LINE
11. EXISTING UTILITY BOX (CABLE TV, ELECTRIC, GAS TELEPHONE, ETC...) TO BE RELOCATED IF LOCATED IN PROPOSED SIDEWALK & ADJUSTED TO GRADE.
12. TREE TO BE RELOCATED. REFER TO LANDSCAPE PLANS.

NORTH

0 5 10 20 30

Scale 1" = 10'



TRUE NORTH

PROJECT NORTH

1/32"=1'

LT2.01

OCTANE CAPITAL MANAGEMENT | 3DE ARCHITECTURE | TGP | KW KIER+WRIGHT

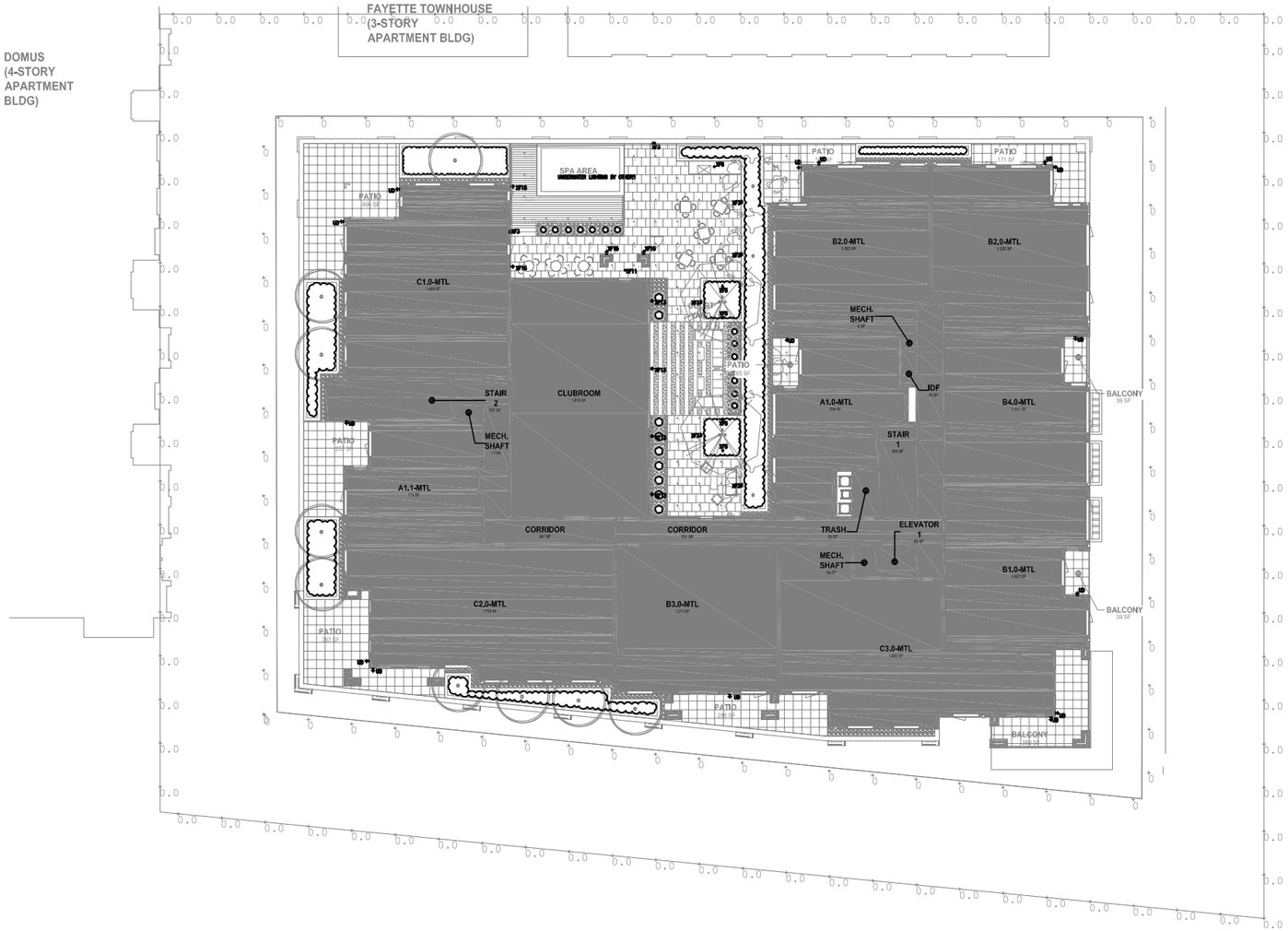
OCTANE FAYETTE

LIGHTING PLAN - FLOOR 1

OCTOBER 6, 2023

DOMUS
(4-STORY
APARTMENT
BLDG)

FAYETTE TOWNHOUSE
(3-STORY
APARTMENT BLDG)



1/32"=1'

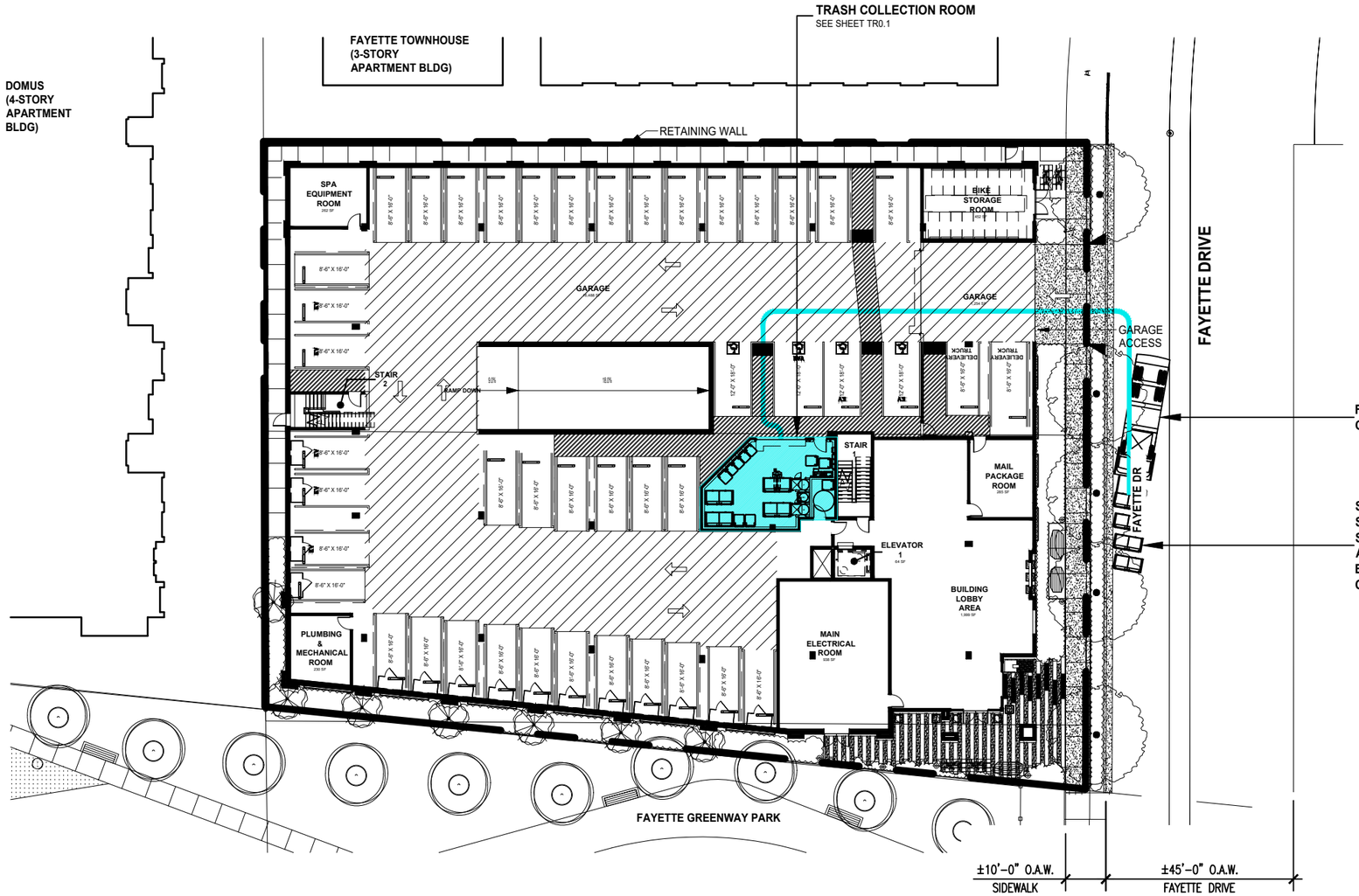
TRUE NORTH
PROJECT NORTH

LT2.02

OCTANE FAYETTE

LIGHTING PLAN - FLOOR 2

OCTOBER 6, 2023



SHEET NOTES.

TRASH ROUTE PLAN. LEVEL B1.

1. STAFF SHALL TRANSPORT CONTAINERS TO TRASH STAGING AREA WITH ELECTRIC PALLET TRUCK PER SCHEDULE.
2. NOTE THAT TOTER CARTS WILL BE SERVICED BY SIDE-LOAD COLLECTION VEHICLE AND CONTAINERS WILL BE SERVICED BY FRONT-LOAD COLLECTION VEHICLE. WASTE, RECYCLING, AND COMPOST SERVICE TO OCCUR ON SEPARATE DAYS.

GENERAL NOTES.

1. ANY DESIGNS OR SOLUTIONS SHOWN IN DRAWING, EITHER DIRECT OR IMPLIED, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS FOR CONSTRUCTION. THESE DRAWINGS ARE INTENDED TO SUPPLEMENT THE SUBMITTAL PACKAGE FROM ARCHITECT.
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3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY INCONSISTENCIES AND/OR DISCREPANCIES.

LEGEND.

STAFF PATH OF TRAVEL FROM RESIDENTIAL TRASH ROOM TO TRASH STAGING AREA.

PROJECTED COLLECTION SCHEDULE: COMPACTED TRASH

SERVICE:	M	Tu	W	Th	F	Sa	Su
WASTE - 2CY FL COMPACTED					2		
PAPER REC - 2CY FL COMPACTED					2		
MC REC - 96G TOTER					5		
COMPOST - 64G TOTER					3		
TOTAL	0	0	0	0	12	0	0

TRASH ROUTE / STAGING PLAN

LEVEL 1

SCALE: 1/8" = 1'-0"

0' 10' 21' 32'

PROJECT NORTH

TRUE NORTH

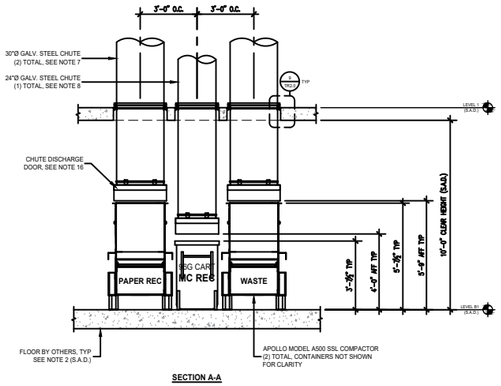
As Indicated

TR0.0

OCTANE - 2645 & 2655 FAYETTE DR.

TRASH ROUTE / STAGING PLAN

OCTOBER 3, 2023

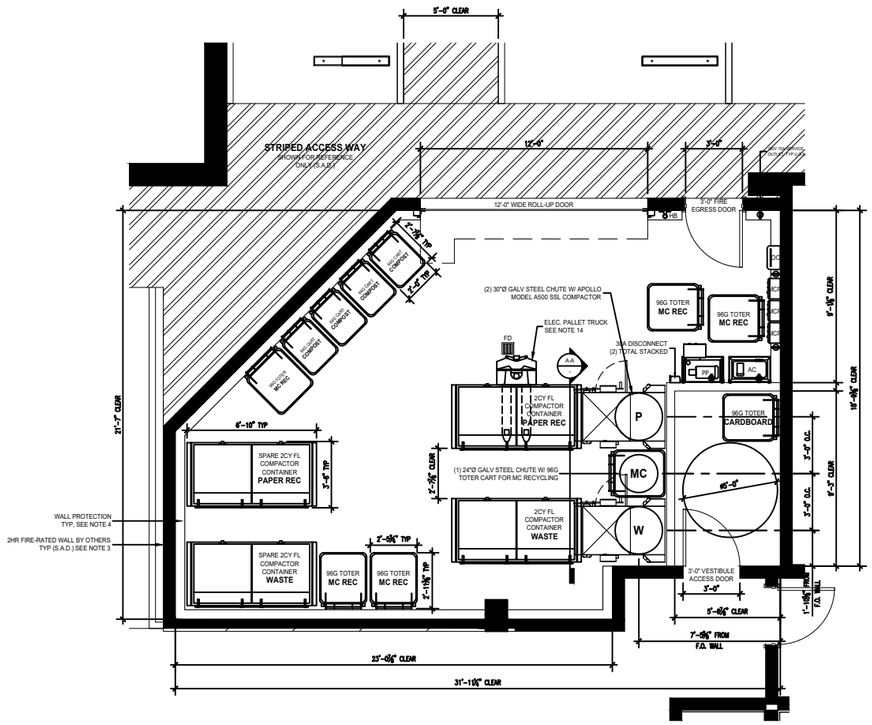


SECTION A-A

SECTIONS

AT TRASH COLLECTION ROOM

SCALE: 1/4" = 1'-0"

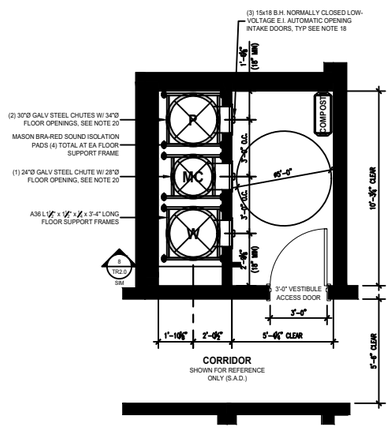


NOTE: SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT NEEDED FOR PLACEMENT OF TRASH EQUIPMENT.

TRASH COLLECTION ROOM PLAN

LEVEL B1

SCALE: 1/4" = 1'-0"



CHUTE INTAKE VESTIBULE

SIM AT UPPER LEVELS 2-8

SCALE: 1/4" = 1'-0"

SHEET NOTES:

TRASH COLLECTION ROOM: LEVEL B1

1. TRASH ROOM SHALL BE 2HR FIRE-RATED CONSTRUCTION - RESTRICTED ACCESS.
2. FINISH FLOORS WITH ELASTO-DECK 6001 AL-HT DECK COATING. PROVIDE MINIMAL SLOPE AND FLOOR DRAIN.
3. FINISH WALLS WITH FRP WASHABLE WATERPROOF SURFACE 8'-0" AFF.
4. INSTALL WALL PROTECTION: 12"Hx6"W CONCRETE CURB AT BASE OF WALLS. DO NOT INSTALL BEHIND COMPACTORS OR POWER PACKS.
5. 12'-0" ROLL-UP DOOR FOR TRANSFERRING CONTAINERS AND 3'-0" FIRE EGRESS DOOR.
6. ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2022 CBC.
7. (2) 30"Ø 16G GALVANIZED OR GALVANNEALED STEEL CHUTES WITH APOLLO MODEL A500 SINGLE-SIDE LATCH COMPACTORS AND 2CY FL COMPACTOR CONTAINERS FOR WASTE AND PAPER RECYCLING DISPOSAL. CHUTES TERMINATE AT 5'-9" AFF.
8. (1) 24"Ø 16G GALVANIZED OR GALVANNEALED STEEL CHUTE WITH 96G TOTER CART FOR MIXED-CONTAINER RECYCLING. CHUTE TERMINATES AT 4'-0" AFF.
9. PP: COMPACTOR POWER PACKS FLOOR-MOUNTED AND STACKED VERTICALLY. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF.
10. MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. 120V 15A SERVICE OUTLET REQUIRED. (3) TOTAL.
11. AC: AIR COMPRESSOR (OIL LESS) 4610AC WITH AUTOMATIC TANK DRAIN VALVE. 2 HP PEAK, TWIN TANK CAPACITY 4.6 GALLONS, VOLTAGE @ 60 HZ 110 VOLTS, CURRENT 8.5 AMPS TO POWER THE CHUTE INTAKE DOORS. (2) TOTAL.
12. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF.
13. HB: HOT AND COLD HOSE BIBB SHALL BE WALL-MOUNTED 60" AFF.
14. PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000LB CAPACITY WITH 45.5" TURNING RADIUS. 120V 15A SERVICE OUTLETS REQUIRED.
15. 120V 15A SERVICE OUTLET REQUIRED FOR ALL EQUIPMENT (U.O.N.).
16. CHUTE DISCHARGE DOOR: WILKINSON TYPE-A, B-LABEL CONSTRUCTION 90 MINUTE FIRE-RATED, HORIZONTALLY ROLLING DOOR, HELD OPEN BY 165°F FUSIBLE LINK, SHOWN IN CLOSED POSITION.
17. CONSTRUCT CARDBOARD CLOSET FOR RESIDENTIAL CARDBOARD DISPOSAL AT TRASH DISCHARGE ROOM PER PLAN. PROVIDE 96G TOTER CART.

CHUTE INTAKE VESTIBULES: SIMILAR AT UPPER LEVELS 2-8

18. CHUTE INTAKE VESTIBULES SHALL BE 2HR FIRE-RATED WITH 2HR FIRE-RATED ACCESS DOOR. 5'-0" MIN CLEAR REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. POWER TO INTAKE DOORS SUPPLIED BY MCP. PROVIDE (3) 15x18 BOTTOM HINGED, NORMALLY CLOSED LOW-VOLTAGE, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING DOORS FOR WASTE, MIXED-CONTAINER RECYCLING, AND PAPER RECYCLING AT EACH FLOOR. SEE DETAIL 2/TR2.0. 30" x 48" REQUIRED FOR FRONT APPROACH. MANAGEMENT TO PROVIDE 23-GALLON 'RUBBERMAID SLIM JIM' CONTAINER OR EQUIVALENT FOR COMPOST DISPOSAL. STAFF TO EMPTY IN CONTAINERS DAILY AT TRASH ROOM.
19. 2HR FIRE-RATED FACE WALL SHALL NOT BE ERECTED UNTIL CHUTES HAVE BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.
20. PROVIDE ROUND FLOOR OPENINGS AT CONCRETE FLOORS AND SQUARED FLOOR OPENINGS AT WOOD-FRAME CONSTRUCTION. SEE PLAN FOR DIAMETER OF OPENINGS. INSTALL FLOOR SUPPORT FRAME AT EACH FLOOR PENETRATION TO SECURE CHUTE. SEE DETAIL 9/TR2.0 FOR ANCHORING. POUR RINGS WILL VARY BASED ON THICKNESS OF FLOOR SLAB - PROVIDED BY MANUFACTURER.

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DESIGN ISSUES:

1. **RELOCATE CHUTES PER PLAN TO PROVIDE OPTIMAL LAYOUT.**

PROJECTED COLLECTION SCHEDULE: COMPACTED TRASH

SERVICE:	M	Tu	W	Th	F	Sa	Su
WASTE - 2CY FL COMPACTED					2		
PAPER REC - 2CY FL COMPACTED					2		
MC REC - 96G TOTER					5		
COMPOST - 64G TOTER					3		
TOTAL	0	0	0	0	12	0	0

PROJECT NORTH

TRUE NORTH

0' 10' 21' 32'

As Indicated

TR0.1

OCTANE | BDE ARCHITECTURE | TGP

OCTANE - 2645 & 2655 FAYETTE DR.

TRASH DISCHARGE ROOM PLAN

OCTOBER 3, 2023